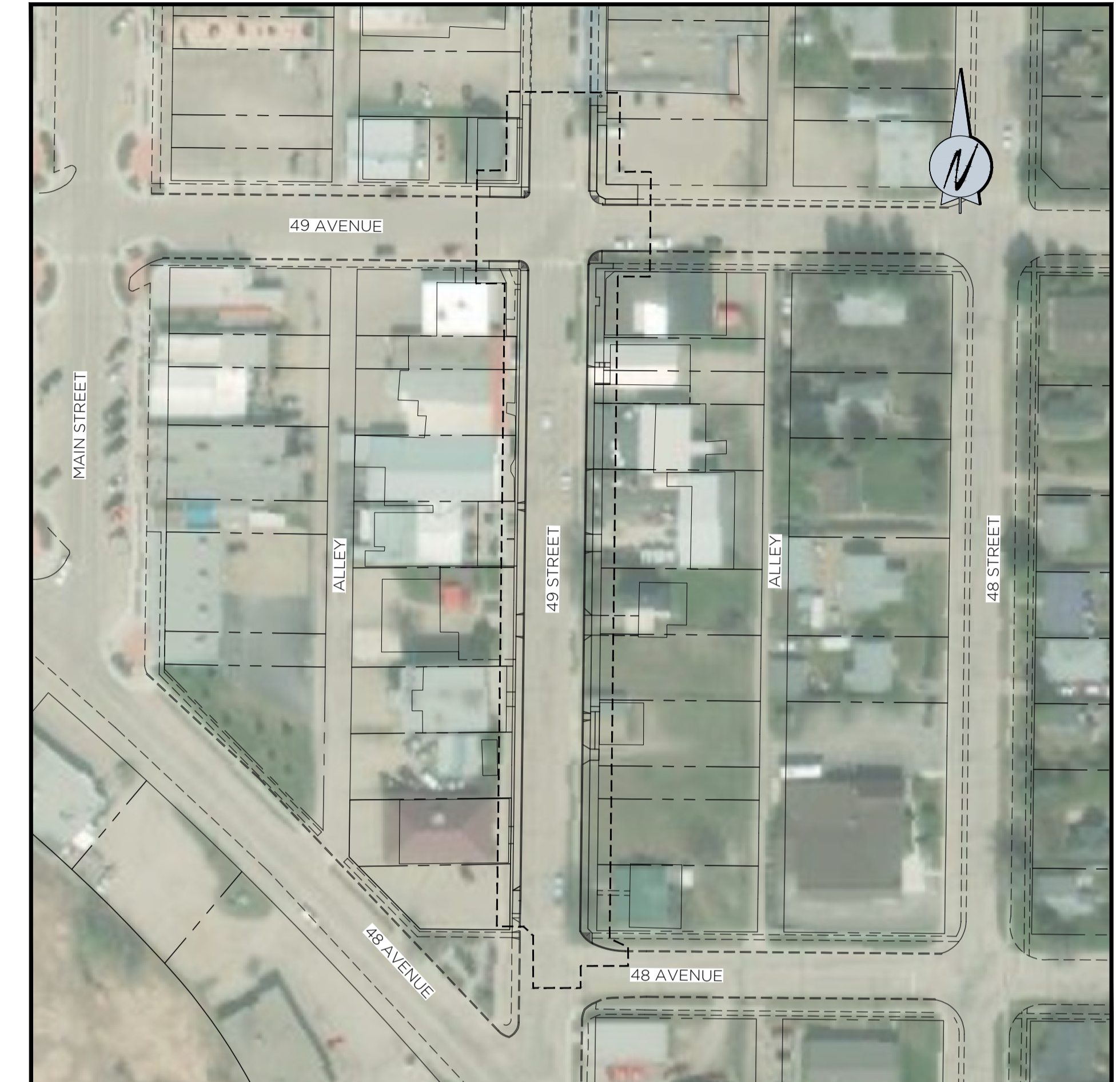




**Invistec Consulting Ltd.**

Suite 1700, 10130 - 103 Street NW  
Edmonton Alberta, T5J 3N9  
(780) 293 - 7373  
www.invistec.ca

**NOT FOR CONSTRUCTION**



**CLIENT: TOWN OF ROCKY MOUNTAIN HOUSE**

**PROJECT: 49 STREET IMPROVEMENTS  
PLAN 101 AJ**

**LIST OF DRAWINGS**

<u>DRAWING NO.</u>	<u>DRAWING TITLE</u>
C001-001	COVER SHEET
C002-001	GENERAL LEGEND AND STANDARD NOTE
<b>OVERALL PLANS</b>	
C004-001	REMOVAL PLAN
C005-001	SITE UTILITY PLAN
C006-001	ROAD AND SIDEWALK PLAN
C007-001	ROAD GRADING PLAN
C200-001	SECTIONS
C201-001	DETAILS
C201-002	DETAILS
C201-003	DETAILS

**ISSUE FOR APPROVAL  
2026-04  
PROJECT NUMBER: 5026-001**

## NOTES

### GENERAL

- THE CONSTRUCTION OF ALL INFRASTRUCTURE SHALL CONFORM TO THE MOST RECENT VERSION OF THE MUNICIPALITY'S ENGINEERING STANDARDS AND CONSTRUCTION SPECIFICATIONS. ANY ERRORS AND/OR OMISSIONS TO BE REPORTED TO INVISTEC CONSULTING LTD.
- LOCATE ALL UTILITIES PRIOR TO CONSTRUCTION. THE LOCATION OF UTILITIES SHOWN ON THE DRAWING IS APPROXIMATE; CONTRACTORS SHALL BE RESPONSIBLE FOR THE LOCATION AND PROTECTION OF EXISTING UTILITIES.
- PRIOR TO UTILITY CONSTRUCTION, EXISTING INVERTS AND PIPE MATERIALS SHALL BE CONFIRMED BY THE CONTRACTORS. ANY DISCREPANCIES TO BE REPORTED TO INVISTEC CONSULTING LTD.
- ALL COORDINATES, LENGTHS AND CURVE DATA ARE CANA83-3TM114 GRID/GROUND.  
ASCN: COMBINED FACTOR:  
ELEVATIONS ARE GEODETIC DATUM GRID LEVEL.  
DIMENSIONS ARE IN METERS AND DECIMALS THEREOF.
- CONTRACTORS SHALL BE RESPONSIBLE AND VERIFY ALL DIMENSIONS. DO NOT SCALE THE DRAWING.
- ALL CROSSINGS AND CONSTRUCTION WITHIN EXISTING RIGHT-OF-WAYS AND EASEMENTS MUST BE DONE IN ACCORDANCE WITH UTILITY OWNERS REQUIREMENTS.
- QUALITY ASSURANCE TESTING FOR SUBGRADE PREPARATION, GRANULAR BASE COURSE, ASPHALT PAVING, AND CONCRETE WORK TO BE PERFORMED AT REGULAR FREQUENCIES BY QUALIFIED PERSONEL AS SPECIFIED IN THE MUNICIPALITIES CONSTRUCTION SPECIFICATIONS.
- CONTRACTORS SHALL ENSURE COMPLIANCE, ON BEHALF OF THEMSELVES AND ALL SUBCONTRACTORS AND PERSONS ON THE WORK SITE, WITH THE ALBERTA OCCUPATIONAL HEALTH AND SAFETY ACT/CODE AND ALL APPLICABLE REGULATIONS.

### SITE COMMON EXCAVATION (CUT TO FILL)

- WHERE NECESSARY, CLEAR AND GRUB THE BASE OF FILL, REMOVE TOPSOIL AND OTHER UNSUITABLE MATERIALS AND SCARIFY THE BASE TO ENSURE BOND WITH FILL MATERIAL.
- CONTRACTOR IS RESPONSIBLE TO ENSURE THAT OPTIMUM MOISTURE CONTENT IS MAINTAINED AND SHALL USE APPROPRIATE MOISTURE ADJUSTMENTS WHEN NECESSARY.
- FILL MATERIAL TO BE PLACED AND SPREAD IN SUCCESSIVE HORIZONTAL LIFTS, EACH LIFT NOT EXCEEDING 150mm THICKNESS WHEN COMPACTED. COMPACT EACH LIFT TO THE REQUIRED DENSITY IN ACCORDANCE WITH MUNICIPALITIES REQUIREMENTS.
- GRADED SURFACES TO MEET A GRADE TOLERANCE OF  $\pm 25$ mm AND NOT BE UNIFORMLY HIGH OR LOW.
- GRADE SITE TO ENSURE POSITIVE DRAINAGE. ALL FINISHED SURFACE WORK TO MAINTAIN MINIMUM SLOPE REQUIREMENTS WITH NO ISOLATED LOW AREAS, UNLESS OTHERWISE SPECIFIED ON THE ENGINEERING DRAWINGS.

### SUBGRADE PREPARATION

- CLAY USED FOR SUBGRADE PREPARATION TO CONTAIN NO DELETERIOUS MATERIALS IN ACCORDANCE WITH MUNICIPALITIES CONSTRUCTION SPECIFICATIONS.
- SCARIFY, SHAPE, AND COMPACT THE SUBGRADE AS FOLLOWS:
  - COMPACT THE SUBGRADE TO A MINIMUM OF 100.0% OF THE MAXIMUM DENSITY FOR EACH 150mm LIFT OF SUBGRADE UNDER THE FULL WIDTH OF THE CROSS SECTION FOR PAVEMENT STRUCTURES, CONCRETE CURB, CONCRETE GUTTER, CONCRETE MONOLITHIC WALK, PRIVATE, COMMERCIAL AND ALLEY CROSSINGS AND ASPHALT WALKS/BIKEWAYS.
  - COMPACT THE SUBGRADE TO A MINIMUM OF 97.0% OF THE MAXIMUM DENSITY FOR EACH 150mm LIFT OF SUBGRADE UNDER CONCRETE SEPARATE WALKS, CURB RAMPS, SLABS, AND WALK MADE OF CONCRETE PAVERS, BRICK PAVERS, OR GRANULAR MATERIALS.
- ADDITIONAL SUBGRADE TREATMENTS (CEMENT STABILIZATION, GRANULAR SUBBASE, GEOTEXTILES, FABRICS) MAY BE REQUIRED IF RECOMMENDED BY THE GEOTECHNICAL ENGINEER.
- SUBGRADE SURFACE TO BE PROOF ROLLED IN PRESENCE OF THE ENGINEER AND MUNICIPALITY TO CONFIRM ADEQUATE BEARING CAPACITY OF THE SUBGRADE SOILS PRIOR TO COMMENCEMENT OF GRANULAR BASE PLACEMENT.

### GRANULAR BASE COURSE

- GRANULAR BASE COURSE TO BE PLACED IN LIFTS NOT EXCEEDING 150mm AND COMPACTED IN ACCORDANCE WITH MUNICIPALITIES REQUIREMENTS.
- PLACEMENT OF GRANULAR BASE TO EXTEND 150mm BEYOND THE EXTENTS OF PROPOSED ASPHALT AND CONCRETE LIMITS.

### ASPHALT PAVING

- THE PAVEMENT STRUCTURE SHALL BE AS PER THE RECOMMENDATION OF THE GEOTECHNICAL ENGINEERING REPORT.
- CONTRACTOR TO ENSURE THE USE OF PRIME AND TACK COATS WHEN PLACING ASPHALT.
- NO PAVING IS PERMITTED WHEN RAIN OR SNOW IS IMMINENT, WHEN THE SURFACE OR BASE TO BE PAVED IS WET, ICY, SNOW-COVERED, OR FROZEN, OR WHEN PAVING TEMPERATURES ARE NOT ACHIEVABLE.
- FINISHED ASPHALT SURFACE SHALL BE FREE OF VISIBLE SIGNS OF POOR WORKMANSHIP SUCH AS: SEGREGATION, EXCESSIVELY OPEN SPOTS, AREAS EXHIBITING EXCESS OR INSUFFICIENT ASPHALT CEMENT, IMPROPER MATCHING OF JOINTS, DOWLING, ROLLER MARKS, CRACKING OR TEARING.
- THE CONTRACTOR IS RESPONSIBLE FOR QUALITY CONTROL THROUGHOUT ALL STAGES OF THE ASPHALT PRODUCTION AND PLACEMENT INCLUDING THE AGGREGATES, ASPHALT CEMENT, AND ANY OTHER MATERIALS USED IN THE MIX. THE CONTRACTOR SHALL UTILIZE A QUALIFIED TESTING LABORATORY TO UNDERTAKE THE QUALITY CONTROL SAMPLING AND TESTING TO DETERMINE AND MONITOR THE PROPERTIES OF THE MATERIALS BEING PRODUCED AND USED ON THE PROJECT.

### CONCRETE

- CONCRETE AND THE REQUIREMENTS FOR CONCRETE MIX DESIGN (INCLUDING SEASONAL MIX REQUIREMENTS), QUALITY CONTROL, QUALITY ASSURANCE AND PLACEMENT TO ADHERE TO THE MOST RECENT VERSION OF THE MUNICIPALITY'S ENGINEERING STANDARDS AND CONSTRUCTION SPECIFICATIONS.

### SANITARY

- TYPE 2 INSTALLATION - EMBEDMENT INSTALLATION SHALL BE COMPACTED TO A MINIMUM OF 90% STANDARD PROCTOR UTILIZING CLASS 1A, 1B, OR II EMBEDMENT MATERIALS, OR 95% STANDARD PROCTOR WHEN UTILIZING CLASS III EMBEDMENT MATERIALS.
- SANITARY SEWER PIPE ALTERNATIVES:
  - PVC PIPE - SMOOTH WALL PSM TYPE - CAN/CSA-B182.2 - SDR35
- ALL SANITARY SEWER SERVICES ARE PVC PIPE - SMOOTH WALL PSM TYPE CAN/CSA-B182.2 - SDR35
  - WHERE SERVICES ARE REQUIRED TO CONNECT TO MAINS MORE THAN 4.25m DEEP, RISERS SHALL BE INSTALLED AT THE TIME OF CONSTRUCTION OF THE SEWER MAINS.
  - STANDARD MANHOLES SHALL BE 1200mm INTERNAL DIAMETER UNLESS OTHERWISE SPECIFIED.

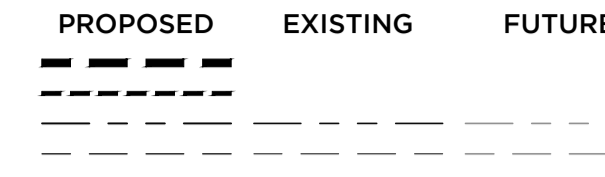
### WATER

- WATERMANS TO BE INSTALLED WITH CLASS 'B' BEDDING:
  - 100mm-300mm - AWWA C-900 DR-18 PVC, 350mm AND LARGER - AWWA C-900 DR-25 PVC.
- APPLY APPROVED PVC WATER PIPE JOINT LUBRICANT FOR POTABLE WATER, ACCORDING TO MANUFACTURER'S RECOMMENDED APPLICATION PROCEDURES.
- WATER SERVICES LESS THAN 50mm MUST BE A MINIMUM OF 2.0m FROM MANHOLE SHAFTS, LIGHT POLES, CABLES, PEDESTALS, TRANSFORMER'S GROUNDING RODS AND CATCHBASINS.
- CATCHBASIN LEADS MUST BE A MINIMUM OF 3.0m FROM VALVE CASING.
- WATER DROPS SHALL BE STAMPED INTO THE SIDEWALK IN FRONT OF EACH LOT'S CURB COCK WITH THE TIP OF THE DROP POINTING IN THE DIRECTION OF THE CURB COCK AS PER DETAIL DRAWING WA-005-013.
- ALL MATERIALS AND CONSTRUCTION TO BE AS PER THE CITY OF EDMONTON DESIGN AND CONSTRUCTION STANDARDS.

## LEGEND

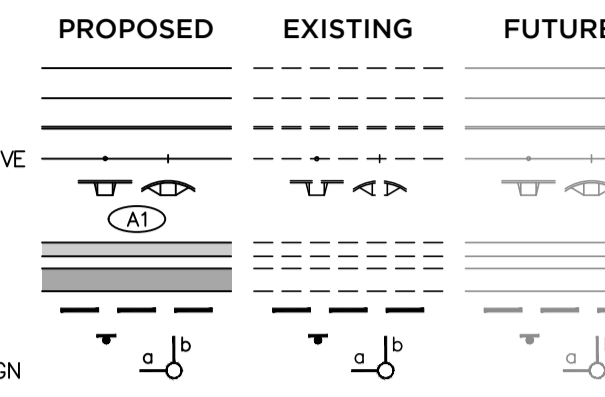
### LEGAL

DEVELOPMENT BOUNDARY  
LIMIT OF CONSTRUCTION  
PROPERTY LINE  
EASEMENT LINE



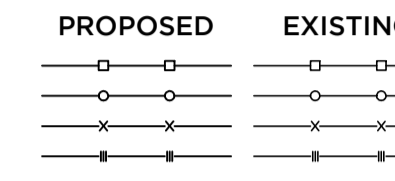
### ROADWAY

EDGE OF PAVEMENT  
EDGE OF GRAVEL  
CURB AND GUTTER  
BEGINNING OR END OF CURVE  
CURB RAMP  
CURB RAMP TYPE  
CONC WALK  
SHARED USE PATH  
MINI-BARRIER  
SIGN POST  
STREET IDENTIFICATION SIGN



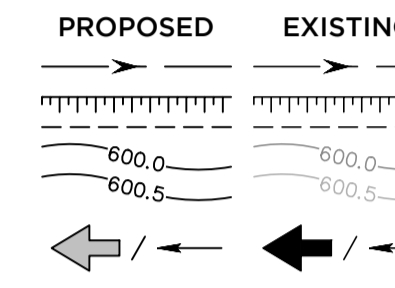
### FENCE

WOOD  
DECORATIVE/METAL  
CHAIN LINK  
NOISE ATTENUATION



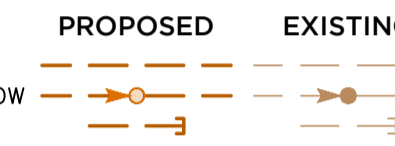
### DRAINAGE

DITCH / SWALE  
TOP OF SLOPE  
TOE OF SLOPE  
CONTOUR - MAJOR  
CONTOUR - MINOR  
DIRECTION OF DRAINAGE  
(MAJOR / MINOR)



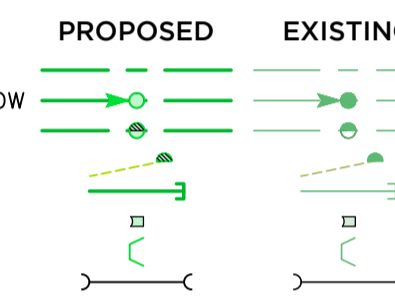
### SANITARY

SEWER LINE  
MANHOLE AND FLOW ARROW  
PLUG



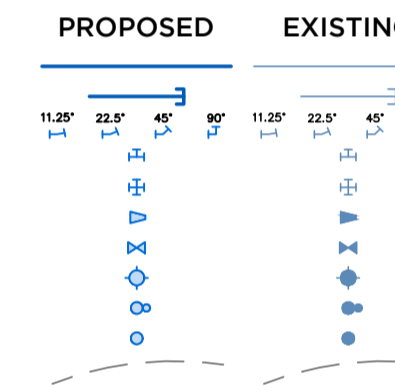
### STORM

SEWER LINE  
MANHOLE AND FLOW ARROW  
CATCH BASIN MANHOLE  
CATCH BASIN AND LEAD  
PLUG  
ORIFICE  
INLET / OUTLET  
CULVERT



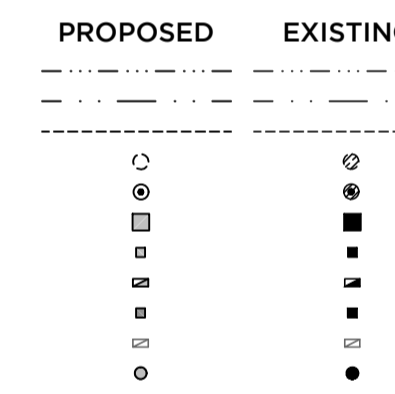
### WATER

PIPE LINE  
PLUG  
BENDS  
TEE  
CROSS  
REDUCER  
VALVE  
HYDRANT  
FLUSH POINT  
MANUAL AIR VENT  
HYDRANT RADIUS



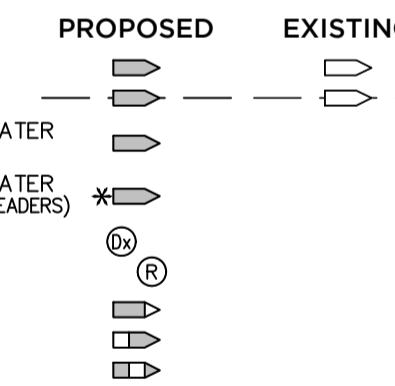
### UTILITIES

GAS LINE  
COMMUNICATION LINE  
POWER LINE  
POWER POLE  
LIGHT STANDARD  
SWITCHING CUBICLE  
TRANSFORMER  
LIGHTING CONTROL BOX  
VAULT  
PEDESTAL  
MANHOLE



### SERVICES

SINGLE  
DUAL (ON R)  
STORM, SANITARY, AND WATER  
(FOUNDATION DRAIN)  
STORM, SANITARY, AND WATER  
(FOUNDATION DRAIN AND ROOF LEADERS)  
DUPLEX SERVICE  
RISER REQUIRED  
STORM AND SANITARY  
SANITARY AND WATER  
STORM AND WATER



## ABBREVIATIONS

BOW	--	BACK OF WALK
EDL	--	EDGE OF DRIVING LANE
EOP	--	EDGE OF PAVEMENT
FOC	--	FACE OF CURB
LOG	--	LIP OF GUTTER
MED	--	MEDIAN
PVMT	--	PAVEMENT
RFCG	--	ROLLED FACE CURB AND GUTTER
RFCRG	--	ROLLED FACE CURB AND REVERSE GUTTER
RF MONO	--	ROLLED FACE MONOLITHIC WALK
SFCG	--	STRAIGHT FACE CURB AND GUTTER
SFCRG	--	STRAIGHT FACE CURB AND REVERSE GUTTER
SF MONO	--	STRAIGHT FACE MONOLITHIC WALK
SUP	--	SHARED USE PATH
TOC	--	TOP OF CURB
BC	--	BEGIN CURVE
BCCR	--	BEGIN CURVE-CURB RETURN
EC	--	END CURVE
ECCR	--	END CURVE-CURB RETURN
PI	--	TANGENT-TANGENT INTERSECT
TC	--	TANGENT-CURVE INTERSECT
PCC	--	CURVE-CURVE INTERSECT
PRC	--	REVERSE CURVE INTERSECT
CT	--	CURVE-TANGENT INTERSECT
POC	--	POINT ON CURVE
POT	--	POINT ON TANGENT
TS	--	TANGENT-SPIRAL INTERSECT
SC	--	SPIRAL-CURVE INTERSECT
CS	--	CURVE-SPIRAL INTERSECT
ST	--	SPIRAL-TANGENT INTERSECT
BVC	--	BEGIN VERTICAL CURVE
BVCS	--	BEGIN VERTICAL CURVE STATION
BVCE	--	BEGIN VERTICAL CURVE ELEVATION
EVC	--	END VERTICAL CURVE
EVCS	--	END VERTICAL CURVE STATION
EVCE	--	END VERTICAL CURVE ELEVATION
VC	--	VERTICAL CURVE
PVI	--	POINT OF VERTICAL INTERSECTION
L	--	LENGTH OF VERTICAL CURVE
A	--	ALGEBRAIC DIFFERENCE IN GRADIENTS
K	--	RATE OF CHANGE OF GRADE PER UNIT LENGTH (L/A)
e	--	SUPERELEVATION
Ls	--	LENGTH OF SPIRAL
NC	--	NORMAL CROWN
RC	--	REVERSE CROWN
c/w	--	COMPLETE WITH
CL	--	CENTER LINE
CONC	--	CONCRETE
COR CUT	--	CORNER CUT (ON PROPERTY LINE)
DWG	--	DRAWING
EX	--	EXISTING
FUT	--	FUTURE
HORZ	--	HORIZONTAL
NBHD	--	NEIGHBOURHOOD
NO	--	NUMBER
NTS	--	NOT TO SCALE
PL	--	PROPERTY LINE
R	--	RADIUS
R/W	--	RIGHT OF WAY
STD	--	STANDARD
TYP	--	TYPICAL
U/G	--	UNDERGROUND
VERT	--	VERTICAL
CB	--	CATCH BASIN
CBMH	--	CATCH BASIN MANHOLE
CC	--	CURB COCK
CSP	--	CORRUGATED STEEL PIPE
HYD	--	HYDRANT
INV	--	INVERT
MH	--	MANHOLE
O/H	--	OVERHEAD
PVC	--	POLYVINYL CHLORIDE
RIM	--	MANHOLE RIM
SAN	--	SANITARY
STM	--	STORM
U/G	--	UNDERGROUND
WM	--	WATERMAIN
AV	--	AVENUE
BN	--	BEND
BV	--	BOULEVARD
CR	--	CRESCENT
CT	--	COURT
DR	--	DRIVE
LN	--	LANE
RD	--	ROAD
ST	--	STREET
TR	--	TRAIL
WY	--	WYND

### LEGEND / NOTES:

**NOT FOR CONSTRUCTION**

APPROVALS:			
DEVELOPMENT ENGINEER	SUSTAINABLE DEVELOPMENT		
REVISION:		BY	DATE
ISSUE:		BY	DATE
02	ISSUE FOR APPROVAL	MA	DH 2026-04
01	ISSUE FOR CLIENT REVIEW	YL	DH 2026-03
		BY	DATE

### PERMIT / SEAL

### CLIENT:

TOWN OF ROCKY MOUNTAIN HOUSE

### PROJECT:

49 STREET IMPROVEMENT

### DRAWING TITLE:

GENERAL LEGEND AND STANDARD NOTES

### PROJECT NO:

5026-001

### PROJECT MANAGER:

D. HARRISON

### SCALE:

### DRAWING NO.

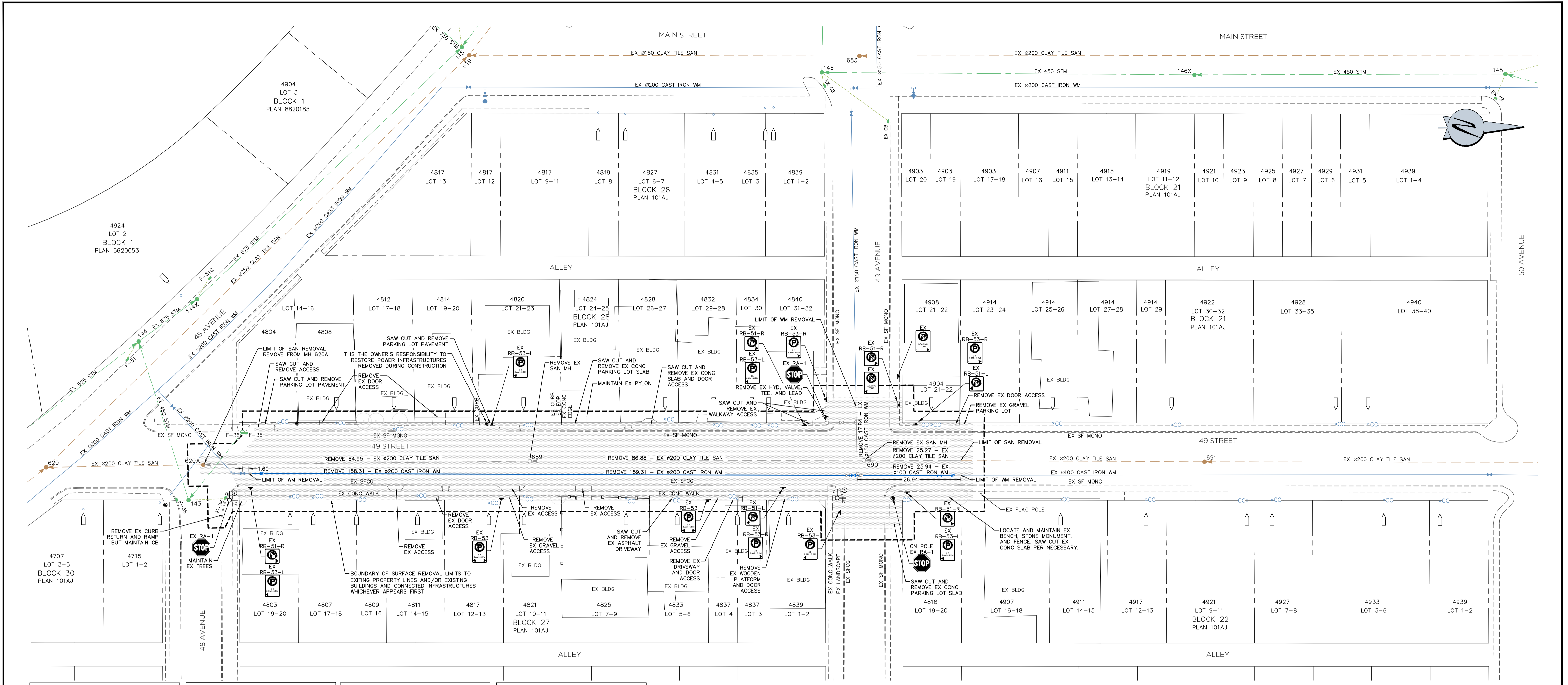
C002-001



**Invistec Consulting Ltd.**  
Suite 1700, 10130 - 103 Street NW  
Edmonton Alberta, T5J 3N9  
(780) 293 - 7373  
www.invistec.ca

THE CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS DO NOT SCALE THE DRAWING. ANY ERRORS OR OMISSIONS SHALL BE REPORTED TO INVISTEC CONSULTING LTD. AS SOON AS POSSIBLE.

THE COPYRIGHTS TO ALL DESIGNS AND DRAWINGS ARE THE PROPERTY OF INVISTEC CONSULTING LTD. REPRODUCTION OR USE FOR ANY PURPOSE OTHER THAN THAT AUTHORIZED BY INVISTEC CONSULTING LTD. IS PROHIBITED.



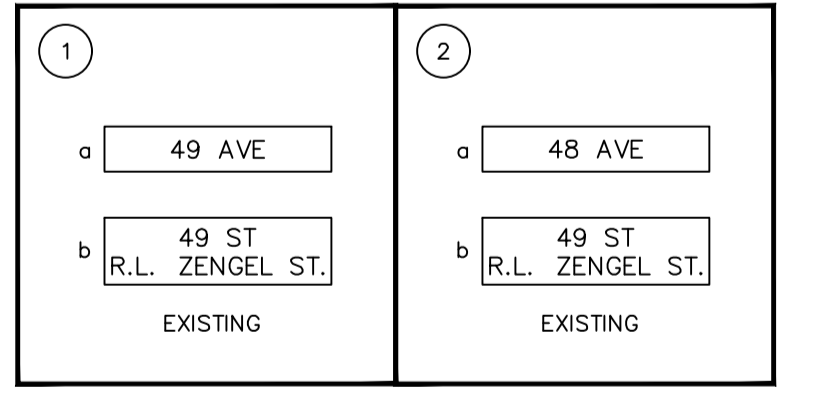
**EXISTING UTILITIES:**  
 ALL EXISTING UTILITIES IN DRAWING SET ARE BASED ON TOWN OF ROCKY MOUNTAIN HOUSE GIS MAP DATED 2026-FEB.  
 ALL EXISTING UTILITIES TO BE CONFIRMED PRIOR TO CONSTRUCTION.  
 ALL SERVICE LOCATIONS ON DRAWINGS ARE APPROXIMATE LOCATIONS ONLY, TO BE VERIFIED AT CONSTRUCTION.

**EXISTING POWER NOTE:**  
 IT IS THE OWNER'S RESPONSIBILITY TO RESTORE EXISTING POWER INFRASTRUCTURES INCLUDING POLES, LIGHTS, CABLES THAT BEEN REMOVED DURING CONSTRUCTION.  
**EXISTING SIGNAGE NOTE:**  
 ALL EXISTING STREET/TRAFFIC SIGNAGE REMOVED DURING CONSTRUCTION TO BE RESTORED PRIOR TO C.C.C.

**CONSTRUCTION NOTE:**  
 FINAL BOUNDARY OF REMOVAL TO BE DETERMINED ON-SITE BASED ON ACTUAL FIELD CONDITION AND ADJUSTED ACCORDINGLY. RESTORE ALL REMOVED INFRASTRUCTURE AND LANDSCAPE.  
 CONTRACTOR IS RESPONSIBLE FOR STAGING CONSTRUCTION TO ALLOW ACCESS TO BUSINESS BUILDINGS WHILE PROJECT IS IN PROGRESS.  
 CONTRACTOR IS RESPONSIBLE TO PROVIDE TEMPORARY SANITARY AND WATER SERVICE TO AFFECTED OWNERS AND PROVIDE SANITARY BYPASS PUMPING OR EQUIVALENT FOR AFFECTED UPSTREAM SEWER SYSTEM.

**SERVICE REMOVAL NOTE:**  
 1. WITHIN CONSTRUCTION LIMIT REMOVE EXISTING LOT SERVICES TO PROPERTY LINE INCLUDING WATER CC VALVES WHERE APPLICABLE.  
 2. IT IS CONTRACTOR'S RESPONSIBILITY TO RECORD PIPE SIZE OF REMOVED LOT SERVICES AND RECORD COORDINATION OF TIE IN LOCATION AND ELEVATION FOR SERVICE RESTORATION.

**EXISTING LANDSCAPE NOTE:**  
 ALL EXISTING TREES, AND PYLON TO BE MAINTAINED. RESTORE REMOVED LANDSCAPING.



**LEGEND / NOTES:**

LEGAL	PROPOSED	EXISTING	
LIMIT OF CONSTRUCTION	---	---	
PROPERTY LINE	---	---	
EASEMENT LINE	---	---	
SANITARY	PROPOSED	EXISTING	REMOVAL
SEWER LINE	---	---	---
MANHOLE AND FLOW ARROW	---	---	---
PIPE ADAPTOR	---	---	---
STORM	PROPOSED	EXISTING	REMOVAL
SEWER LINE	---	---	---
MANHOLE AND FLOW ARROW	---	---	---
CATCH BASIN MANHOLE	---	---	---
CATCH BASIN AND LEAD	---	---	---
PIPE ADAPTOR	---	---	---
WATER	PROPOSED	EXISTING	REMOVAL
PIPE LINE	---	---	---
PIPE ADAPTOR	---	---	---
BENDS	---	---	---
TEE, CROSS	---	---	---
REDUCER, VALVE, HYDRANT	---	---	---
FLUSH POINT, MANUAL AIR VENT	---	---	---

SERVICES	PROPOSED	EXISTING
STORM, SANITARY, AND WATER (FOUNDATION DRAIN)	---	---
WATER CC VALVE	---	---
POWER	PROPOSED	EXISTING
POWER/LIGHT POLE	---	---
SURFACE REMOVALS	---	---
SURFACE REMOVAL AREA	---	---
SIGNAGE	---	---
TRAFFIC SIGN / EXISTING TREE	---	---
STREET NAME SIGN	---	---
EXISTING FENCE AND TREELINE	---	---

**NOT FOR CONSTRUCTION**

**APPROVALS:**  
 DEVELOPMENT ENGINEER, SUSTAINABLE DEVELOPMENT

**REVISION:**

REVISION	DATE

**ISSUE:**

ISSUE	BY	APPD	DATE
02 ISSUE FOR APPROVAL	MA	DH	2026-04
01 ISSUE FOR CLIENT REVIEW	YL	DH	2026-03

**PERMIT / SEAL**

**CLIENT:**  
 TOWN OF ROCKY MOUNTAIN HOUSE

**PROJECT:**  
 49 STREET IMPROVEMENT

**DRAWING TITLE:**  
 REMOVAL PLAN

**PROJECT NO:** 5026-001

**PROJECT MANAGER:** D. HARRISON

**SCALE:**  
 1:500

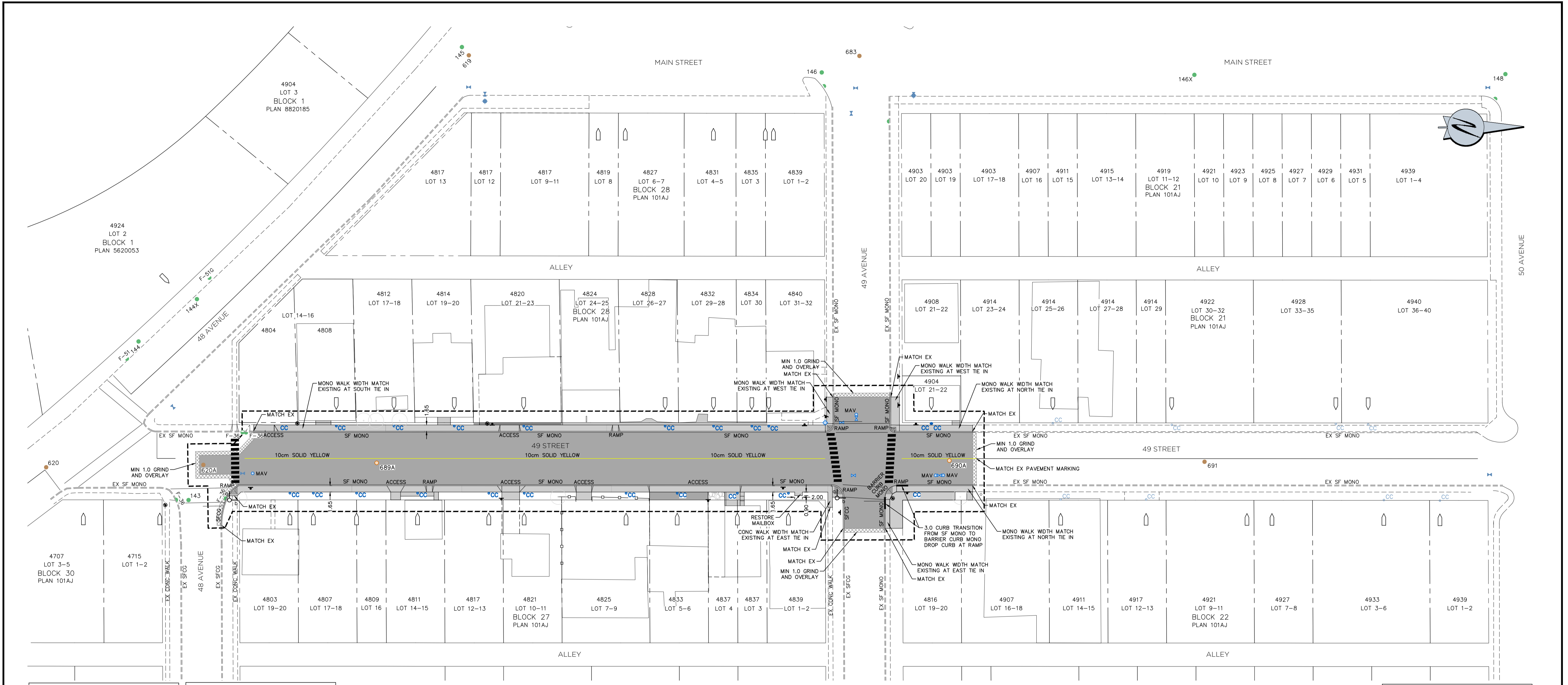
**DRAWING NO.:**  
 C004-001

**Inistec Consulting Ltd.**  
 Suite 1700, 10130 - 103 Street NW  
 Edmonton Alberta, T5J 3N9  
 (780) 293 - 7373  
 www.inistec.ca

THE CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS DO NOT SCALE THE DRAWING. ANY ERRORS OR OMISSIONS SHALL BE REPORTED TO INISTEC CONSULTING LTD. AS SOON AS POSSIBLE.

THE COPYRIGHTS TO ALL DESIGNS AND DRAWINGS ARE THE PROPERTY OF INISTEC CONSULTING LTD. REPRODUCTION OR USE FOR ANY PURPOSE OTHER THAN THAT AUTHORIZED BY INISTEC CONSULTING LTD. IS PROHIBITED.





**EXISTING UTILITIES:**  
 ALL EXISTING UTILITIES IN DRAWING SET ARE BASED ON TOWN OF ROCKY MOUNTAIN HOUSE GIS MAP DATED 2026-FEB.  
 ALL EXISTING UTILITIES TO BE CONFIRMED PRIOR TO CONSTRUCTION.  
 ALL SERVICE LOCATIONS ON DRAWINGS ARE APPROXIMATE LOCATIONS ONLY, TO BE VERIFIED AT CONSTRUCTION.

**EXISTING POWER NOTE:**  
 IT IS THE OWNER'S RESPONSIBILITY TO RESTORE EXISTING POWER INFRASTRUCTURES INCLUDING POLES, LIGHTS, CABLES THAT BEEN REMOVED DURING CONSTRUCTION.  
**SIGNAGE NOTE:**  
 RESTORED REMOVED STREET/TRAFFIC SIGNAGE PRIOR TO C.C.C. SIGNAGE DETAIL REFER TO C004-001-REMOVAL PLAN

**TIE IN NOTE:**  
 TIE INS TO EXISTING BUILDINGS MAY REQUIRE ADJUSTMENT TO MATCH BUILDING CONDITIONS

**CONSTRUCTION NOTE:**  
 FINAL BOUNDARY OF REMOVAL TO BE DETERMINED ON-SITE BASED ON ACTUAL FIELD CONDITION AND ADJUSTED ACCORDINGLY. RESTORE ALL REMOVED INFRASTRUCTURE AND LANDSCAPE.  
 CONTRACTOR IS RESPONSIBLE FOR STAGING CONSTRUCTION TO ALLOW ACCESS TO BUSINESS BUILDINGS WHILE PROJECT IS IN PROGRESS.  
 CONTRACTOR IS RESPONSIBLE TO PROVIDE TEMPORARY SANITARY AND WATER SERVICE TO AFFECTED OWNERS AND PROVIDE SANITARY BYPASS PUMPING OR EQUIVALENT FOR AFFECTED UPSTREAM SEWER SYSTEM.

**LEGEND / NOTES:**

<b>LEGAL</b>	<b>PROPOSED</b>	<b>EXISTING</b>
LIMIT OF CONSTRUCTION	---	---
PROPERTY LINE	---	---
EASEMENT LINE	---	---
<b>ROADWAY</b>	<b>PROPOSED</b>	<b>EXISTING</b>
EDGE OF PAVEMENT	---	---
EDGE OF GRAVEL	---	---
CURB AND GUTTER	---	---
BEGINNING OR END OF CURVE	---	---
CURB RAMP	---	---
CONC WALK	---	---
SIGN POST	---	---
ASPHALT PAVEMENT	---	---
<b>WATER</b>	<b>PROPOSED</b>	<b>EXISTING</b>
REDUCER, VALVE, HYDRANT	---	---
FLUSH POINT, MANUAL AIR VENT	---	---

<b>SERVICES</b>	<b>PROPOSED</b>	<b>EXISTING</b>
STORM, SANITARY, AND WATER (FOUNDATION DRAIN)	---	---
WATER CC V/AVE	---	---
<b>POWER</b>	<b>PROPOSED</b>	<b>EXISTING</b>
POWER/LIGHT POLE	---	---
<b>SIGNAGE</b>	<b>PROPOSED</b>	<b>EXISTING</b>
TRAFFIC SIGN / EXISTING TREE	---	---
STREET NAME SIGN	---	---

- NOTES:**
1. THE CONTRACTOR SHALL BE RESPONSIBLE AND VERIFY ALL DIMENSIONS. DO NOT SCALE THE DRAWING. ANY ERRORS AND/OR OMISSIONS TO BE REPORTED TO INVISTEC CONSULTING LTD. AS SOON AS POSSIBLE.
  2. LOCATE ALL UTILITIES PRIOR TO CONSTRUCTION. LOCATION OF UTILITIES SHOWN ON THE DRAWING IS APPROXIMATE. EXACT LOCATION TO BE DETERMINED BY CONSULTING THE OWNER OF THE UTILITY CONCERNED. THE CONTRACTOR SHALL PROVE THE LOCATION OF UTILITIES AND BE RESPONSIBLE FOR THEIR PROTECTION FROM DAMAGE.
  3. ALL DIMENSIONS ARE IN METERS UNLESS OTHERWISE SPECIFIED. ALL DIMENSIONS ARE TO FACE OF CURB / EDGE OF PAVEMENT UNLESS OTHERWISE SPECIFIED. DIMENSIONS SHOWN ARE FINISHED SURFACE PAVEMENT WIDTHS.
  4. FINAL LIMITS OF REMOVAL CURB REPLACEMENT, AND GRINDING AT MATCH LOCATIONS TO BE DETERMINED IN FIELD.
  5. TIE IN TO EXISTING TO THE SATISFACTION OF THE TOWN OF ROCKY MOUNTAIN HOUSE.
  6. ALL MATERIALS AND CONSTRUCTION TO BE AS PER THE TOWN OF ROCKY MOUNTAIN HOUSE ENGINEERING STANDARDS.
  7. ONSITE RAMPS ARE NON-TYPICAL.

**NOT FOR CONSTRUCTION**

**APPROVALS:**  
 DEVELOPMENT ENGINEER, SUSTAINABLE DEVELOPMENT

**REVISION:**

NO.	DESCRIPTION	BY	APPD	DATE
02	ISSUE FOR APPROVAL	MA	DH	2026-04
01	ISSUE FOR CLIENT REVIEW	YL	DH	2026-03

**ISSUE:**

NO.	DESCRIPTION	BY	APPD	DATE
02	ISSUE FOR APPROVAL	MA	DH	2026-04
01	ISSUE FOR CLIENT REVIEW	YL	DH	2026-03

**PERMIT / SEAL**


**CLIENT:**  
TOWN OF ROCKY MOUNTAIN HOUSE

**PROJECT:**  
49 STREET IMPROVEMENT

**DRAWING TITLE:**  
ROAD AND SIDEWALK PLAN

**PROJECT NO:** 5026-001

**PROJECT MANAGER:** D. HARRISON

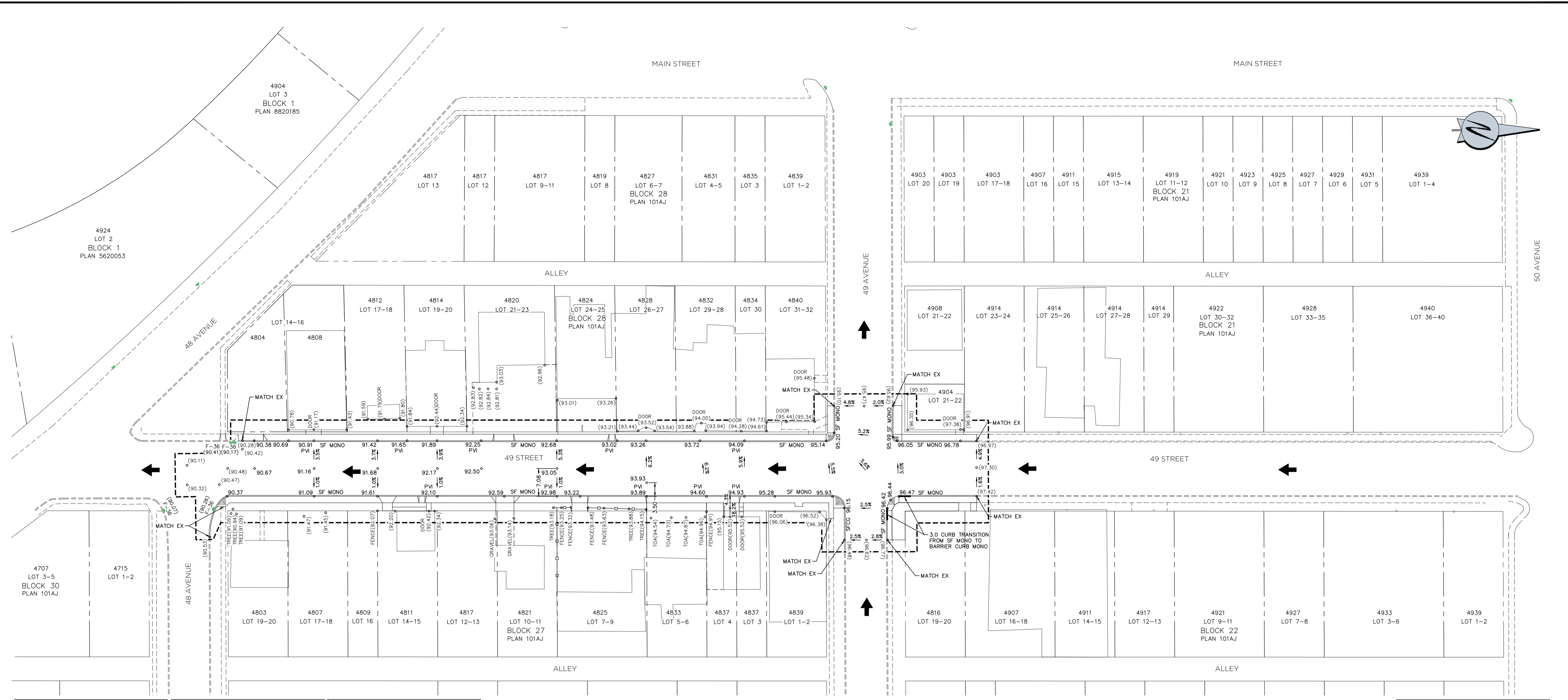
**SCALE:**  
1:500

**DRAWING NO.:**  
C006-001

**Invistec Consulting Ltd.**  
 Suite 1700, 10130 - 103 Street NW  
 Edmonton Alberta, T5J 3N9  
 (780) 293 - 7373  
 www.invistec.ca

THE CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS DO NOT SCALE THE DRAWING. ANY ERRORS OR OMISSIONS SHALL BE REPORTED TO INVISTEC CONSULTING LTD. AS SOON AS POSSIBLE.

THE COPYRIGHTS TO ALL DESIGNS AND DRAWINGS ARE THE PROPERTY OF INVISTEC CONSULTING LTD. REPRODUCTION OR USE FOR ANY PURPOSE OTHER THAN THAT AUTHORIZED BY INVISTEC CONSULTING LTD. IS PROHIBITED.



**EXISTING UTILITIES:**  
 ALL EXISTING UTILITIES IN DRAWING SET ARE BASED ON TOWN OF ROCKY MOUNTAIN HOUSE GIS MAP DATED 2026-FEB.  
 ALL EXISTING UTILITIES TO BE CONFIRMED PRIOR TO CONSTRUCTION.  
 ALL SERVICE LOCATIONS ON DRAWINGS ARE APPROXIMATE LOCATIONS ONLY, TO BE VERIFIED AT CONSTRUCTION.

**CONSTRUCTION NOTE:**  
 FINAL BOUNDARY OF REMOVAL TO BE DETERMINED ON SITE BASED ON ACTUAL FIELD CONDITION AND ADJUSTED ACCORDINGLY. RESTORE ALL REMOVED INFRASTRUCTURE AND LANDSCAPE.  
 CONTRACTOR IS RESPONSIBLE FOR STAGING CONSTRUCTION TO ALLOW ACCESS TO BUSINESS BUILDINGS WHILE PROJECT IS IN PROGRESS.  
 CONTRACTOR IS RESPONSIBLE TO PROVIDE TEMPORARY SANITARY AND WATER SERVICE TO AFFECTED OWNERS AND PROVIDE SANITARY BYPASS PUMPING OR EQUIVALENT FOR AFFECTED UPSTREAM SEWER SYSTEM.

**TIE IN NOTES:**  
 TIE INS TO EXISTING BUILDINGS MAY REQUIRE ADJUSTMENT TO MATCH BUILDING CONDITIONS

**EXISTING POWER NOTE:**  
 IT IS THE OWNER'S RESPONSIBILITY TO RESTORE EXISTING POWER INFRASTRUCTURES INCLUDING POLES, LIGHTS, CABLES THAT BEEN REMOVED DURING CONSTRUCTION.

**LEGEND / NOTES:**

<b>LEGAL</b> LIMIT OF CONSTRUCTION PROPERTY LINE	<b>PROPOSED</b> ---	<b>EXISTING</b> ---
<b>ROADWAY</b> EDGE OF PAVEMENT EDGE OF GRAVEL CURB AND GUTTER BEGINNING OR END OF CURVE DIRECTION OF DRAINAGE (MAJOR / MINOR)	<b>PROPOSED</b> — ← / →	<b>EXISTING</b> — ← / →
PROPOSED ELEVATION	○ 93.00	
EXISTING ELEVATION	○ (93.00)	

- NOTES:**
- THE CONTRACTOR SHALL BE RESPONSIBLE AND VERIFY ALL DIMENSIONS. DO NOT SCALE THE DRAWING. ANY ERRORS AND/OR OMISSIONS TO BE REPORTED TO INVISTEC CONSULTING LTD. AS SOON AS POSSIBLE.
  - LOCATE ALL UTILITIES PRIOR TO CONSTRUCTION. LOCATION OF UTILITIES SHOWN ON THE DRAWING IS APPROXIMATE. EXACT LOCATION TO BE DETERMINED BY CONSULTING THE OWNER OF THE UTILITY CONCERNED. THE CONTRACTOR SHALL CONFIRM THE LOCATION OF UTILITIES AND BE RESPONSIBLE FOR THEIR PROTECTION FROM DAMAGE.
  - ALL DIMENSIONS ARE IN METERS UNLESS OTHERWISE SPECIFIED. ALL DIMENSIONS ARE TO FACE OF CURB / EDGE OF PAVEMENT UNLESS OTHERWISE SPECIFIED. DIMENSIONS SHOWN ARE FINISHED SURFACE PAVEMENT WIDTHS.
  - ALL COORDINATES ARE TO FACE OF CURB / EDGE OF PAVEMENT UNLESS OTHERWISE SPECIFIED. ALL COORDINATES ARE IN CANA83-3TM114 COORDINATE SYSTEM.
  - ELEVATION PREFIX 900.
  - ELEVATIONS ARE TO GEODETIC DATUM *ASCN 89276*. ALL COORDINATES ARE IN CANA83-3TM114 GRID. COMBINED FACTOR: 0.999795.
  - SAW-CUT AREAS OF BASE REMOVAL / CURB REPLACEMENT AS SPECIFIED.
  - FINAL LIMITS OF REMOVAL, CURB REPLACEMENT, AND GRINDING AT MATCH LOCATIONS TO BE DETERMINED IN FIELD.
  - TIE IN TO EXISTING TO THE SATISFACTION OF THE TOWN OF ROCKY MOUNTAIN HOUSE.
  - ALL MATERIALS AND CONSTRUCTION TO BE AS PER THE TOWN OF ROCKY MOUNTAIN HOUSE ENGINEERING STANDARDS.
  - ALL RAMPS ARE NON TYPICAL.

**NOT FOR CONSTRUCTION**

**APPROVALS:**  
 DEVELOPMENT ENGINEER, SUSTAINABLE DEVELOPMENT

REVISION:	DATE

**ISSUE:**

BY	APPD	DATE	
02	MA	DH	2026-04
01	YL	DH	2026-03

**PERMIT / SEAL**

--	--

**CLIENT:**  
TOWN OF ROCKY MOUNTAIN HOUSE

**PROJECT:**  
49 STREET IMPROVEMENT

**DRAWING TITLE:**  
ROAD GRADING PLAN

**PROJECT NO:** 5026-001

**PROJECT MANAGER:** D. HARRISON

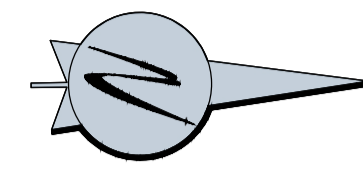
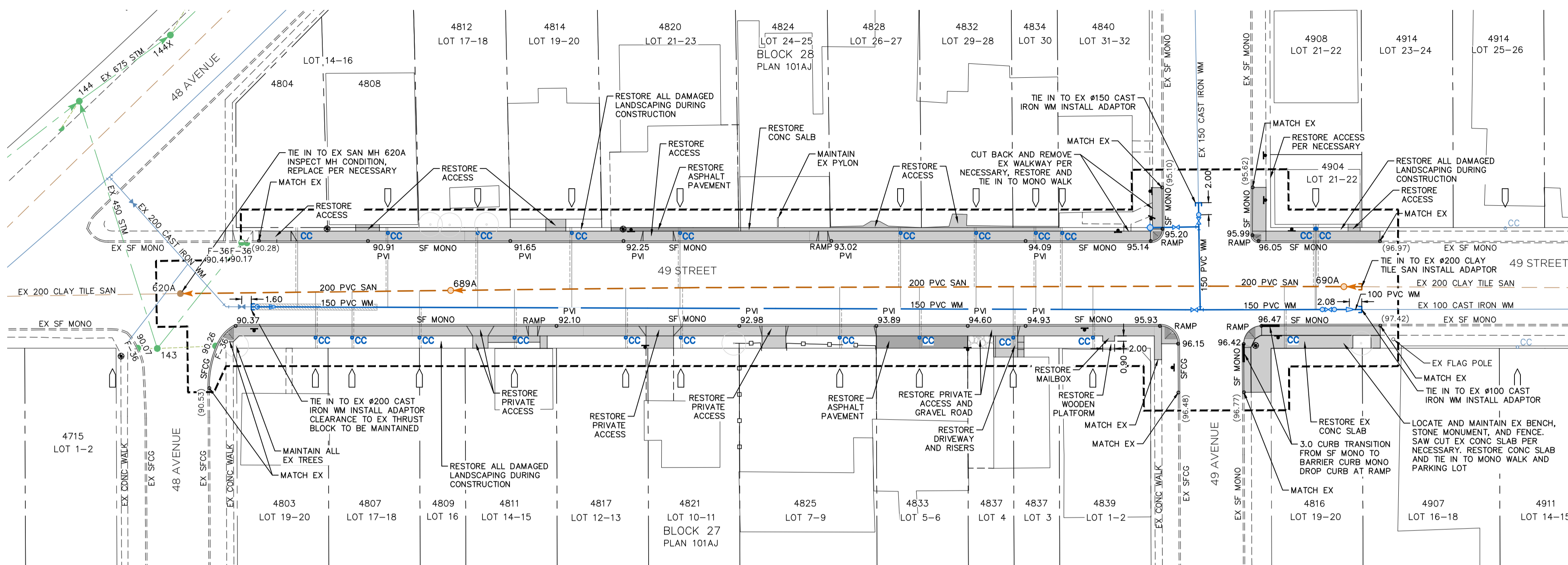
**SCALE:**  
1:500

**DRAWING NO.:**  
C007-001

**Invistec Consulting Ltd.**  
 Suite 1700, 10130 - 103 Street NW  
 Edmonton Alberta, T5J 3N9  
 (780) 293 - 7373  
 www.invistec.ca

THE CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS DO NOT SCALE THE DRAWING. ANY ERRORS OR OMISSIONS SHALL BE REPORTED TO INVISTEC CONSULTING LTD. AS SOON AS POSSIBLE.

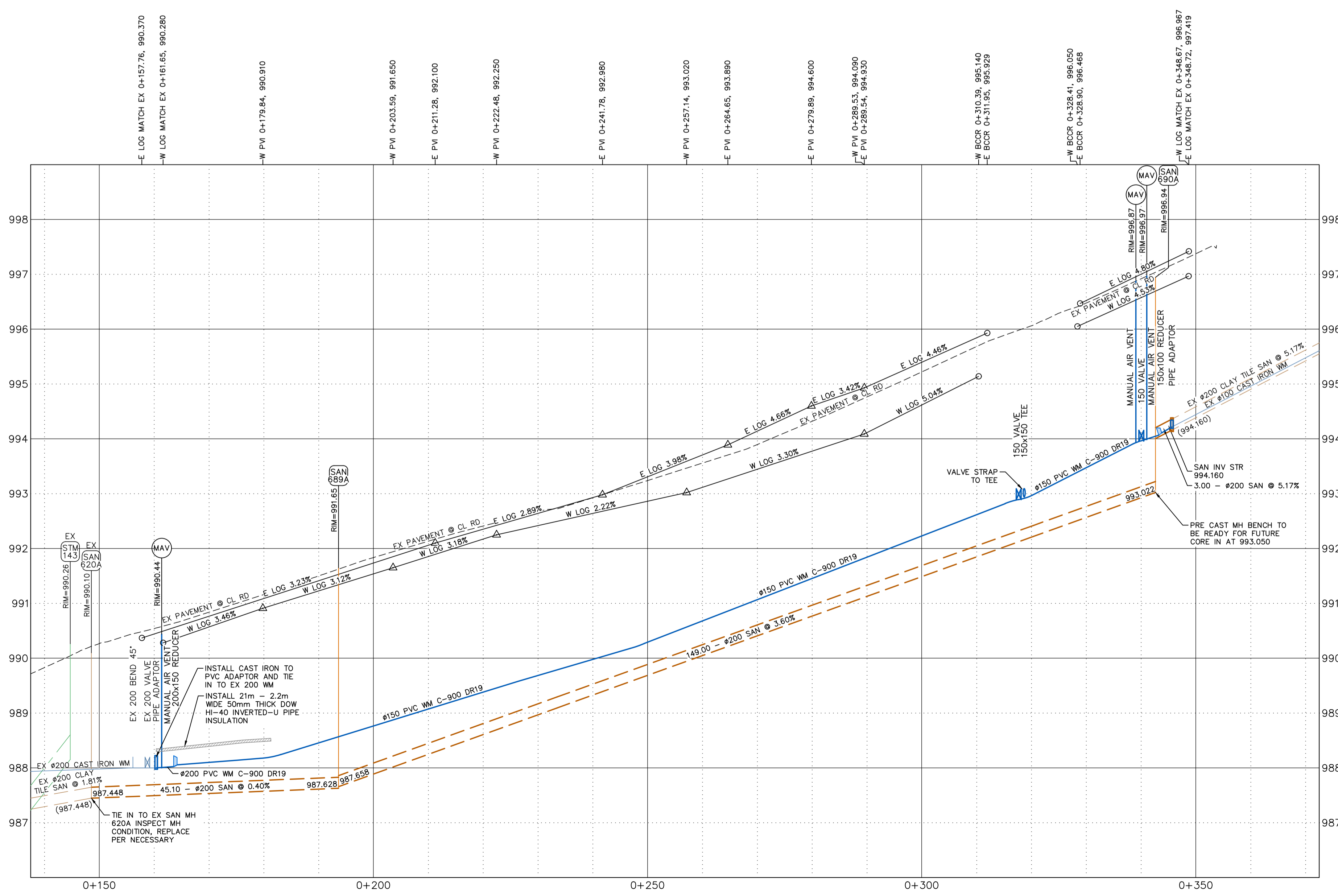
THE COPYRIGHTS TO ALL DESIGNS AND DRAWINGS ARE THE PROPERTY OF INVISTEC CONSULTING LTD. REPRODUCTION OR USE FOR ANY PURPOSE OTHER THAN THAT AUTHORIZED BY INVISTEC CONSULTING LTD. IS PROHIBITED.



**LEGEND / NOTES:**

LEGAL	PROPOSED	EXISTING
DEVELOPMENT BOUNDARY	---	---
LIMIT OF CONSTRUCTION	---	---
PROPERTY LINE	---	---
EASEMENT LINE	---	---
SANITARY	PROPOSED	EXISTING
SEWER LINE	---	---
MANHOLE AND FLOW ARROW	---	---
PLUG	---	---
WATER	PROPOSED	EXISTING
PIPE LINE	---	---
PIPE ADAPTOR	---	---
BENDS	---	---
TEE	---	---
REDUCER	---	---
VALVE	---	---
HYDRANT	---	---
MANUAL AIR VENT	---	---
UTILITIES	PROPOSED	EXISTING
LIGHT STANDARD	---	---
SERVICES	PROPOSED	EXISTING
STORM, SANITARY, AND WATER (FOUNDATION DRAIN)	---	---
WATER CC VLAWE	---	---
SIGNAGE		
TRAFFIC SIGN / EXISTING TREE	---	---
STREET NAME SIGN	---	---
EXISTING FENCE AND TREELINE	---	---
ROADWAY	PROPOSED	EXISTING
EDGE OF PAVEMENT	---	---
EDGE OF GRAVEL	---	---
CURB AND GUTTER	---	---
BEGINNING OR END OF CURVE	---	---
CURB RAMP	---	---
CONC WALK	---	---

- EXISTING UTILITIES:**  
ALL EXISTING UTILITIES IN DRAWING SET ARE BASED ON TOWN OF ROCKY MOUNTAIN HOUSE GIS MAP DATED 2026-FEB.  
ALL EXISTING UTILITIES TO BE CONFIRMED PRIOR TO CONSTRUCTION.  
ALL SERVICE LOCATIONS ON DRAWINGS ARE APPROXIMATE LOCATIONS ONLY, TO BE VERIFIED AT CONSTRUCTION.
- GENERAL SERVICE NOTE:**  
RESTORE REMOVED LOT SERVICES. TIE IN TO EX SERVICES AT OR NEAR PROPERTY LINE. INSTALL ADAPTOR PER NECESSARY.
- EXISTING POWER NOTE:**  
IT IS THE OWNER'S RESPONSIBILITY TO RESTORE EXISTING POWER INFRASTRUCTURES INCLUDING POLES, LIGHTS, CABLES THAT BEEN REMOVED DURING CONSTRUCTION.
- SANITARY SERVICE NOTE:**  
INSTALL MINIMUM 150mm SANITARY SERVICE OR MATCH REMOVED PIPE SIZE IF APPEARED LARGER. INSTALL ADAPTOR AT TIE IN PER NECESSARY.
- WATER SERVICE NOTE:**  
INSTALL MINIMUM 50mm TYPE-K COPPER WATER SERVICES OR SERVICE MATCH REMOVED PIPE SIZE IF APPEARED LARGER. INSTALL ADAPTOR OR REDUCER AT TIE IN PER NECESSARY.
- CONSTRUCTION NOTE:**  
FINAL BOUNDARY OF REMOVAL TO BE DETERMINED ON SITE BASED ON ACTUAL FIELD CONDITION AND ADJUSTED ACCORDINGLY. RESTORE ALL REMOVED INFRASTRUCTURE AND LANDSCAPE.  
CONTRACTOR IS RESPONSIBLE FOR STAGING CONSTRUCTION TO ALLOW ACCESS TO BUSINESS BUILDINGS WHILE PROJECT IS IN PROGRESS.  
CONTRACTOR IS RESPONSIBLE TO PROVIDE TEMPORARY SANITARY AND WATER SERVICE TO AFFECTED OWNERS AND PROVIDE SANITARY BYPASS PUMPING OR EQUIVALENT FOR AFFECTED UPSTREAM SEWER SYSTEM.
- SERVICE REMOVAL NOTE:**
- WITHIN CONSTRUCTION LIMIT REMOVE EXISTING LOT SERVICES TO PROPERTY LINE INCLUDING WATER CC VALVES WHERE APPLICABLE.
  - IT IS CONTRACTOR'S RESPONSIBILITY TO RECORD PIPE SIZE OF REMOVED LOT SERVICES AND RECORD COORDINATION OF TIE IN LOCATION AND ELEVATION FOR SERVICE RESTORATION.
- TIE IN NOTE:**  
TIE INS TO EXISTING BUILDINGS MAY REQUIRE ADJUSTMENT TO MATCH BUILDING CONDITIONS



**APPROVALS:**  
DEVELOPMENT ENGINEER, SUSTAINABLE DEVELOPMENT

REVISION:	DATE

ISSUE:	BY	APPD	DATE
02 ISSUED FOR APPROVAL	MA	DH	2026-04
01 ISSUE FOR CLIENT REVIEW	YL	DH	2026-03

**PROJECT MANAGER:** D. HARRISON  
**CLIENT:** TOWN OF ROCKY MOUNTAIN HOUSE

**PROJECT:** 49 STREET IMPROVEMENT  
**DRAWING TITLE:** 49 STREET STA 0+130 - 0+370

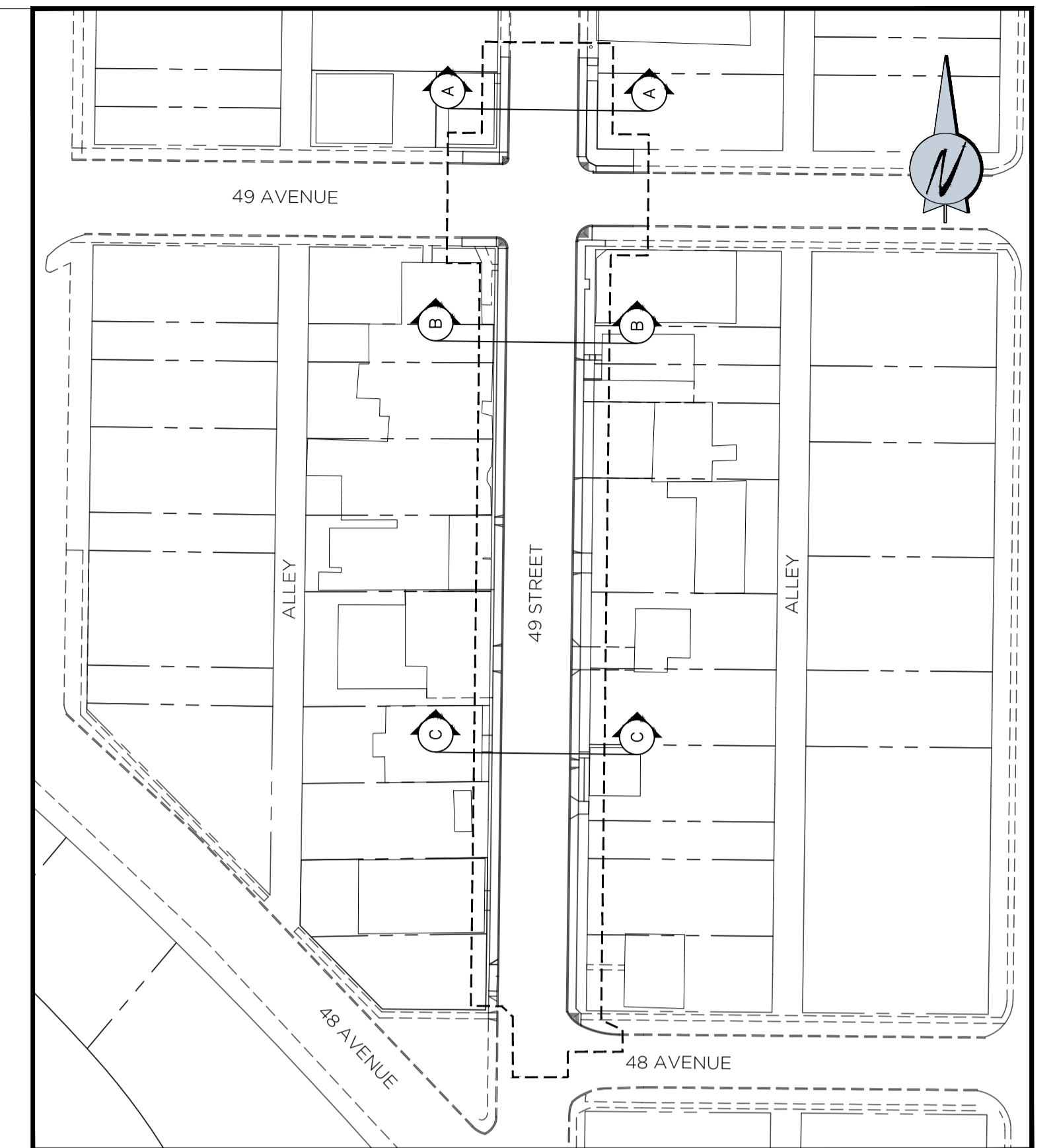
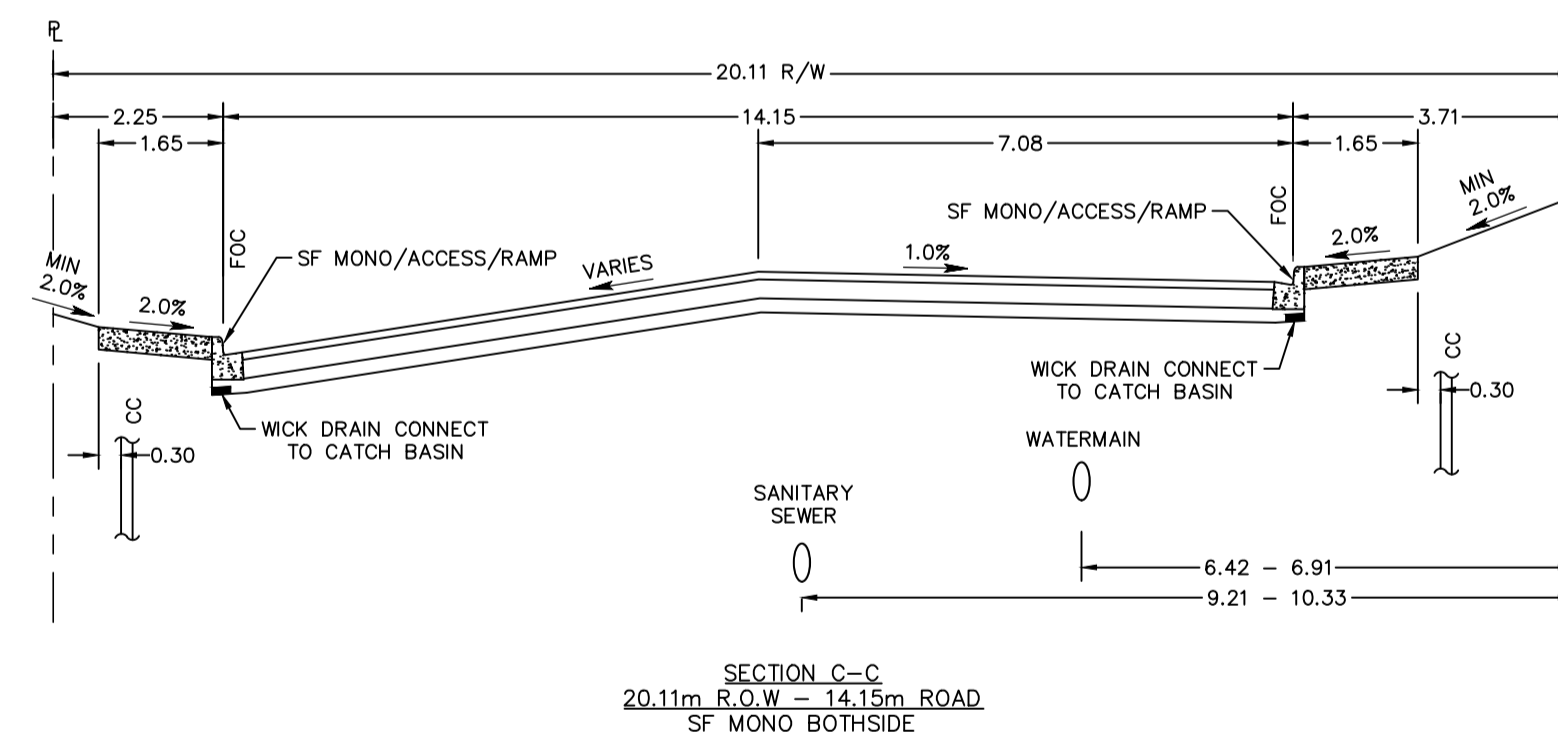
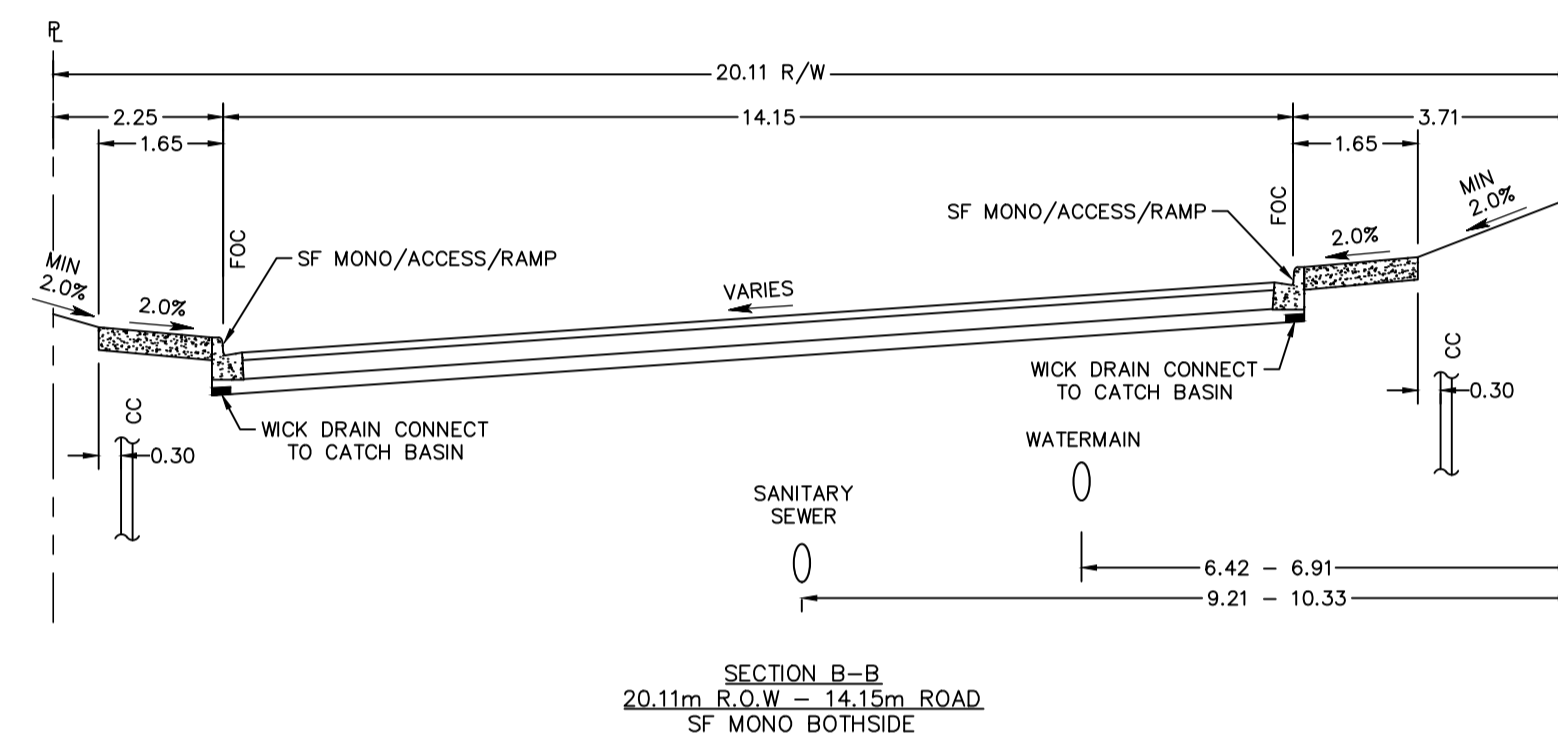
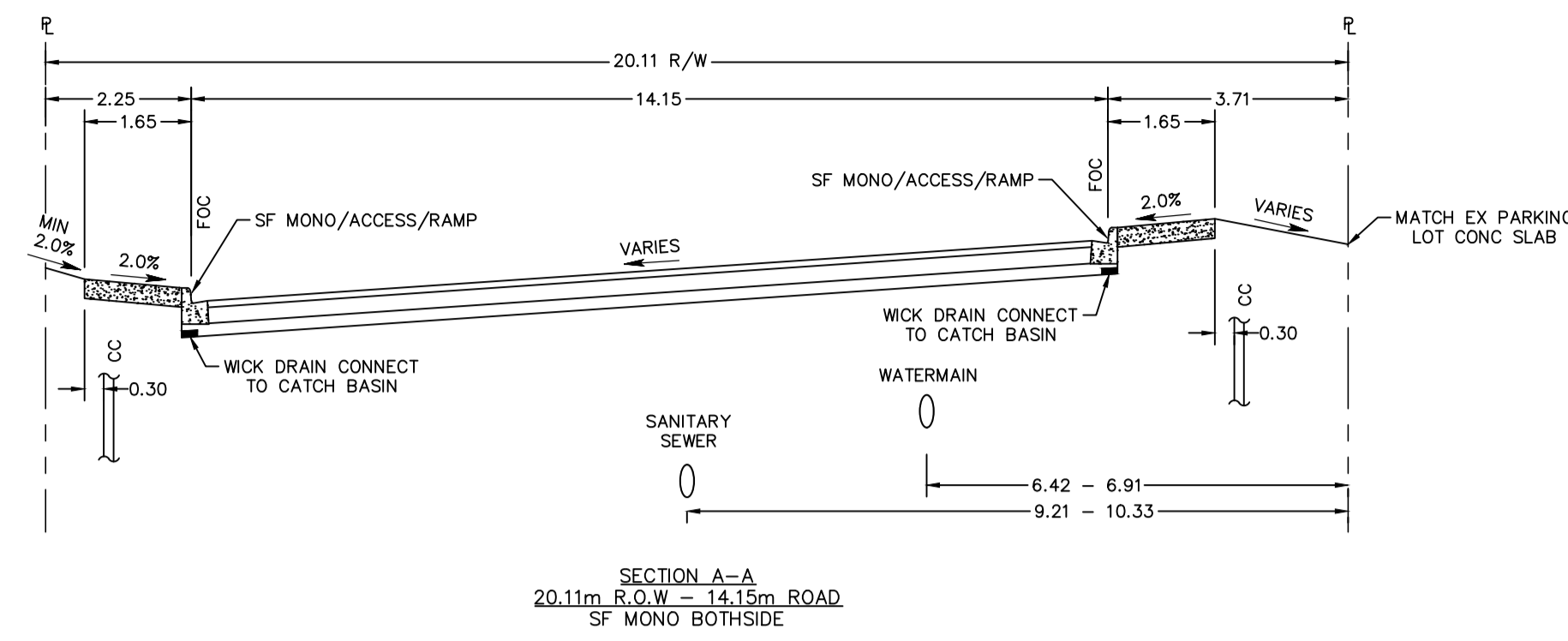
**PROJECT NO:** 5026-001  
**SCALE:** H 1:500 V 1:50  
**DRAWING NO.:** C100-001

**PERMIT / SEAL**

NOT FOR CONSTRUCTION

**Invistec Consulting Ltd.**  
Suite 1700, 10130 - 103 Street NW  
Edmonton Alberta, T5J 3N9  
(780) 293 - 7373  
www.invistec.ca

THE CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS DO NOT SCALE THE DRAWING. ANY ERRORS OR OMISSIONS SHALL BE REPORTED TO INVISTEC CONSULTING LTD. AS SOON AS POSSIBLE.  
THE COPYRIGHTS TO ALL DESIGNS AND DRAWINGS ARE THE PROPERTY OF INVISTEC CONSULTING LTD. REPRODUCTION OR USE FOR ANY PURPOSE OTHER THAN THAT AUTHORIZED BY INVISTEC CONSULTING LTD. IS PROHIBITED.



**ASSUMED PAVEMENT STRUCTURE:**

**PAVEMENT**  
 35mm - 10mm LT (SECOND STAGE ASPHALT)  
 75mm - 10mm LT  
 200mm - 3-20# CRUSHED GRAVEL  
 150mm - PREPARED SUBGRADE  
 (10kg/m<sup>2</sup> MIN CEMENT STABILIZED)

**NOTE:**

1. ALL GRANULAR BASE TO BE COMPACT TO 98% OF SPD (ASTM D698).
2. ALL SUBGRADE TO BE COMPACTED TO 98% OF SPD (ASTM D698).
3. TO BE VERIFIED BY A GEOTECHNICAL ENGINEER AT TIME OF CONSTRUCTION

LEGEND / NOTES:

**NOT FOR CONSTRUCTION**

**APPROVALS:**  
 DEVELOPMENT ENGINEER, SUSTAINABLE DEVELOPMENT

**REVISION:**

NO.	DESCRIPTION	BY	APPD	DATE
02	ISSUE FOR APPROVAL	MA	DH	2026-04
01	ISSUE FOR CLIENT REVIEW	YL	DH	2026-03

**ISSUE:**

NO.	DESCRIPTION	BY	APPD	DATE

PERMIT / SEAL

**CLIENT:**  
TOWN OF ROCKY MOUNTAIN HOUSE

**PROJECT:**  
49 STREET IMPROVEMENT

**DRAWING TITLE:**  
SECTIONS

**PROJECT NO:** 5026-001

**PROJECT MANAGER:** D. HARRISON

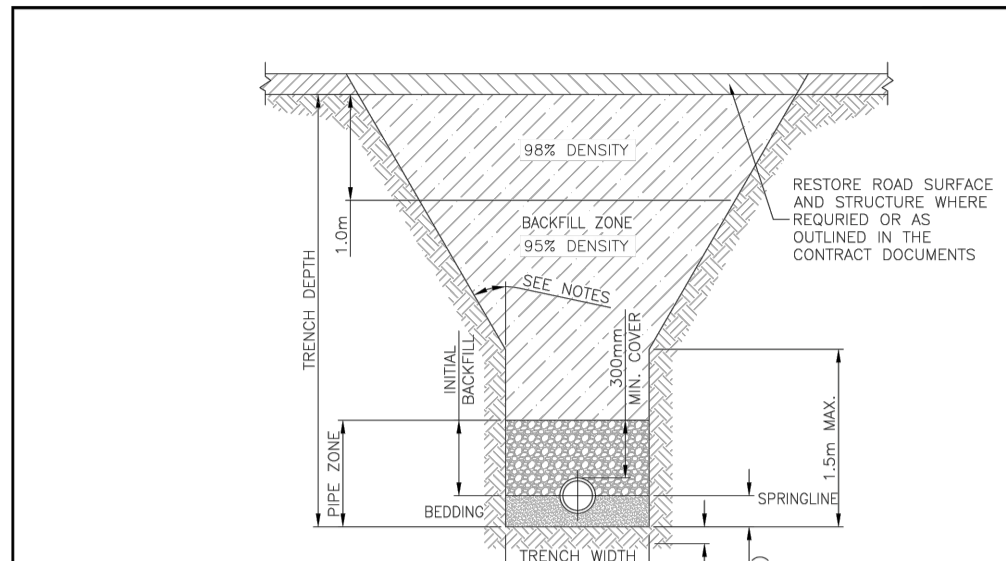
SCALE:

**DRAWING NO.**  
C200-001

**Invistec Consulting Ltd.**  
 Suite 1700, 10130 - 103 Street NW  
 Edmonton Alberta, T5J 3N9  
 (780) 293 - 7373  
 www.invistec.ca

THE CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS DO NOT SCALE THE DRAWING. ANY ERRORS OR OMISSIONS SHALL BE REPORTED TO INVISTEC CONSULTING LTD. AS SOON AS POSSIBLE.

THE COPYRIGHTS TO ALL DESIGNS AND DRAWINGS ARE THE PROPERTY OF INVISTEC CONSULTING LTD. REPRODUCTION OR USE FOR ANY PURPOSE OTHER THAN THAT AUTHORIZED BY INVISTEC CONSULTING LTD. IS PROHIBITED.

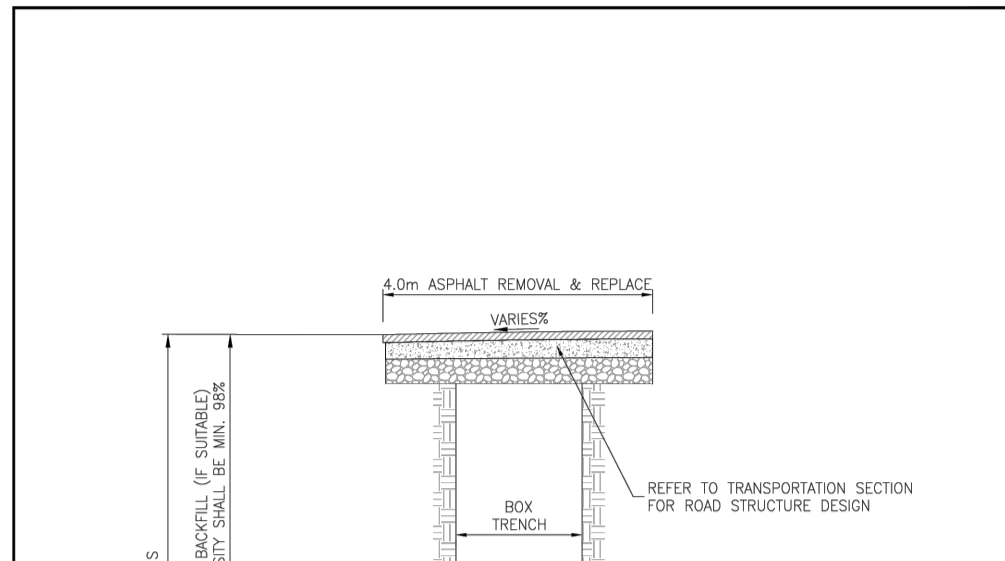


**NOTES:**  
 TRENCH EXCAVATION  
 - TRENCH TO BE SLOPED AS PER OCCUPATIONAL HEALTH & SAFETY ACT.  
 - IN HARD & COMPACT SOIL, TO NOT LESS THAN 30° FROM THE VERTICAL.  
 - IN OTHER SOILS TO NOT LESS THAN 45° FROM THE VERTICAL.  
 - COMPACT BACKFILL MATERIALS TO MINIMUM 95% MAXIMUM DRY DENSITY OF THE STANDARD PROCTOR REPRESENTING THE SOIL PLACED TO WITHIN 1.0m OF THE FINISHED GRADE.  
 - COMPACT BACKFILL MATERIALS IN THE UPPER 1.0m OF THE TRENCH TO STANDARD PROCTOR DENSITY OF THE SOIL PLACED.  
 - USE SLOTTED MATERIAL OR IMPROVED MATERIALS FOR BACKFILL MATERIAL SHALL BE PLACED IN A MAXIMUM OF 200mm LAYERS.  
 PIPE ZONE  
 - NATAL BACKFILL  
 - COMPACT DENSITY SHALL BE MINIMUM 100% OF MAXIMUM DRY DENSITY OF THE STANDARD PROCTOR REPRESENTING THE SOIL PLACED.  
 - USE MATERIAL SHOWN IN DRAWING "1-03".  
 - PLACE IN 150mm LAYERS AND COMPACT BOTH SIDES SIMULTANEOUSLY.  
 PIPE BEDDING  
 - COMPACT DENSITY SHALL BE MINIMUM 100% OF MAXIMUM DRY DENSITY OF THE STANDARD PROCTOR REPRESENTING THE SOIL PLACED.  
 - USE MATERIAL SHOWN IN DRAWING "1-03" UNLESS PIPE FOUNDATION IS UNSUITABLE.  
 - IF UNSUITABLE, PIPE FOUNDATION IS ENCOUNTERED, USE 40mm SCREENED ROCK FOR THE BEDDING TO A MINIMUM DEPTH OF 150mm BELOW THE PIPE AND UP TO THE SPRINGLINE OF THE PIPE. USE FILTER FABRIC TO SEPARATE SUBGRADE MATERIAL AND BEDDING MATERIAL.  
 400mm

TRENCH WIDTH	
PIPE O.D. (mm)	MIN. TRENCH WIDTH (mm)
150	200
200	250
300	350
400	450
600 & larger	O.D. x 1.5
MAX. TRENCH WIDTH (mm)	
300 & larger	O.D. x 2

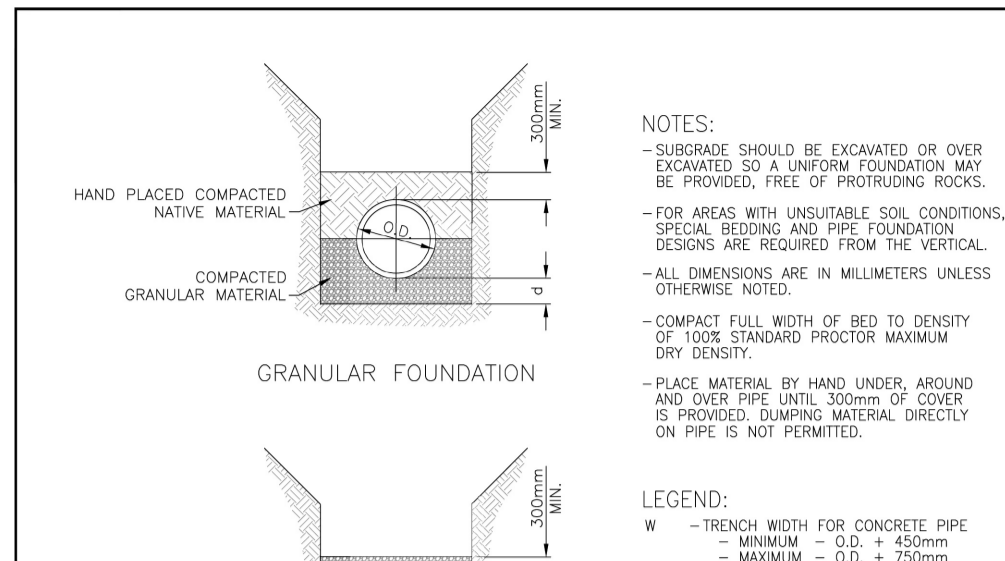
  

RIGID (CONCRETE) PIPE	
MIN. TRENCH WIDTH = O.D. + 600mm	
MAXIMUM BENCH WIDTH AS SPECIFIED BY THE ENGINEER	
O.D. = OUTSIDE DIAMETER (mm)	



File Name: 1-02-CAGED TRENCH UNDER ROAD.dwg  
 Rev. By: MPT Rev. Date: 2021/01/14

TOWN OF ROCKY MOUNTAIN HOUSE	
DESIGN GUIDELINE DRAWINGS	DRAWING NO.
Trench Excavation & Backfill	
UTILITY TRENCH REQUIREMENTS TYPICAL SECTION	<b>1-01</b>
REVISION NO. 1	

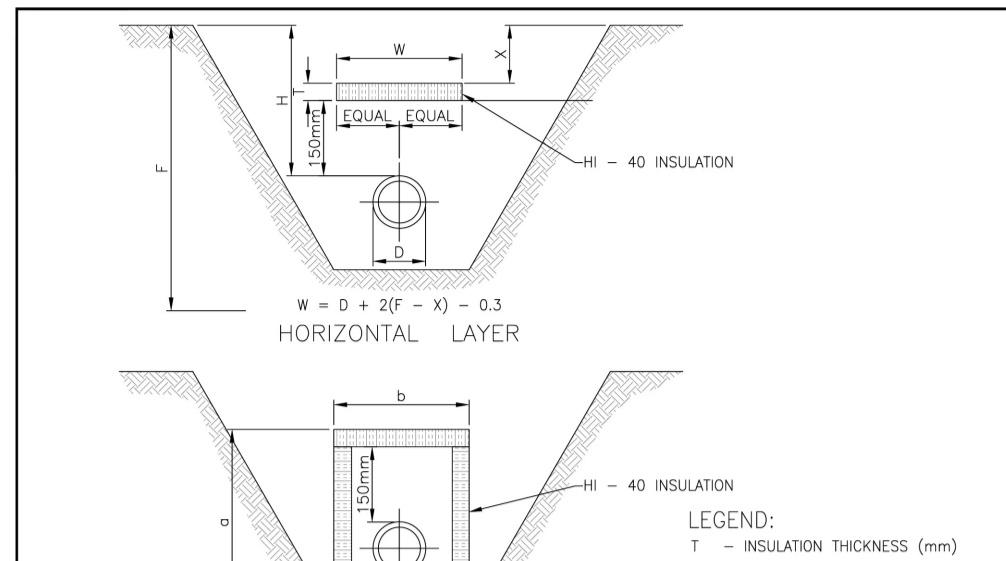


**NOTES:**  
 - SUBGRADE SHOULD BE EXCAVATED OR OVER EXCAVATED SO A UNIFORM FOUNDATION MAY BE PROVIDED, FREE OF PROTRUDING ROCKS.  
 - FOR AREAS WITH UNSUITABLE SOIL CONDITIONS, SPECIAL BEDDING AND PIPE FOUNDATION BEDDING ARE REQUIRED FROM THE VERTICAL.  
 - ALL DIMENSIONS ARE IN MILLIMETERS UNLESS OTHERWISE NOTED.  
 - COMPACT FILL WIDTH OF BED TO DENSITY OF 100% STANDARD PROCTOR MAXIMUM DRY DENSITY.  
 - PLACE MATERIAL BY HAND UNDER, AROUND AND OVER PIPE UNTIL 500mm OF COVER IS PROVIDED, SAVING MATERIAL DIRECTLY ON PIPE IS NOT PERMITTED.

**LEGEND:**  
 W - TRENCH WIDTH FOR CONCRETE PIPE  
 - MINIMUM = O.D. + 450mm  
 - MAXIMUM = O.D. + 750mm  
 O.D. - OUTSIDE PIPE DIAMETER  
 d - BEDDING DEPTH BELOW PIPE

DEPTH OF MATERIAL BELOW PIPE	
Pipe Diameter (mm)	Bedding Depth (mm)
675 or smaller	100
750 to 1500	100
1650 or larger	150

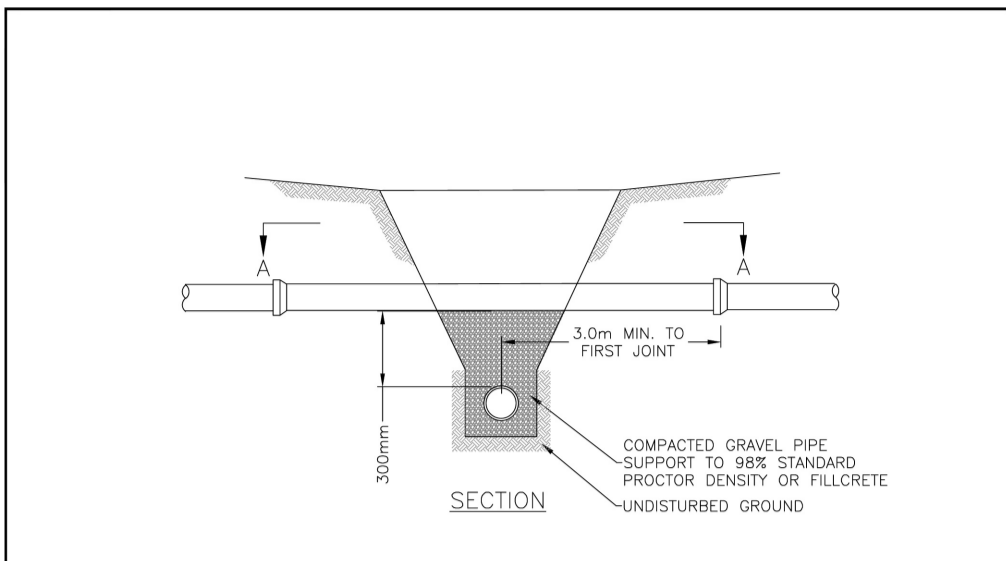
TOWN OF ROCKY MOUNTAIN HOUSE	
DESIGN GUIDELINE DRAWINGS	DRAWING NO.
Trench Excavation & Backfill	
CAGED TRENCH FOR PIPE INSTALLATION UNDER EXISTING ROADS	<b>1-02</b>
REVISION NO. 1	



File Name: 1-04-TRENCH INSULATION.dwg  
 Rev. By: MPT Rev. Date: 2021/01/14

DEPTH FROM FINISHED GRADE TO THE TOP OF INSULATION "X" (METERS)	INSULATION THICKNESS "T" (mm)								
	0 to 1	1 to 1.25	1.25 to 1.50	1.50 to 1.80	1.80 to 2.10	2.10 to 2.40	2.40 to 2.70	2.70 to 3.00	
MANS IN LANES OR EASEMENTS	GRAVEL	N/A	125	100	75	50	25	0	0
MANS IN STREETS	GRAVEL	N/A	150	125	100	75	50	25	0
DEAD END MANS IN STREETS	GRAVEL	N/A	175	150	125	100	75	50	25
DEAD END MANS IN LANES	GRAVEL	N/A	150	125	100	75	50	25	0
	CLAY	N/A	125	100	75	50	25	0	0

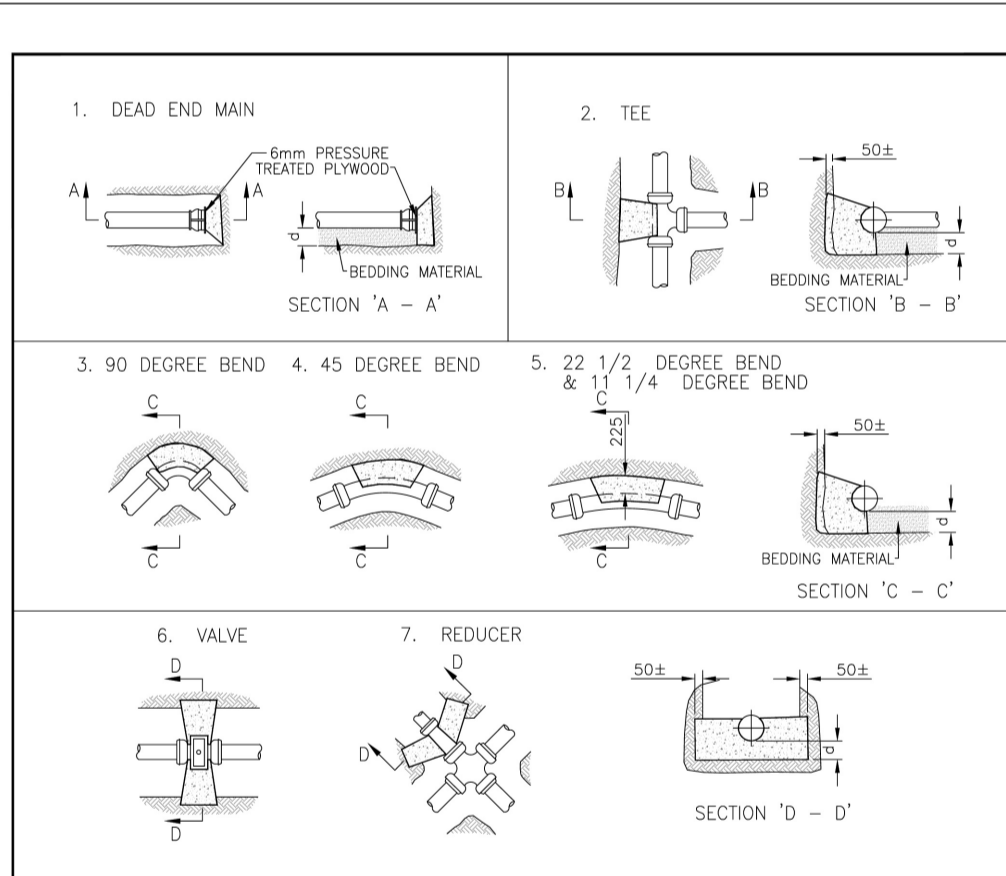
TOWN OF ROCKY MOUNTAIN HOUSE	
DESIGN GUIDELINE DRAWINGS	DRAWING NO.
Trench Excavation & Backfill	
TRENCH INSULATION DETAILS	<b>1-04</b>
REVISION NO. 1	



File Name: 1-05-PIPE CROSSING.dwg  
 Rev. By: MPT Rev. Date: 2021/01/14

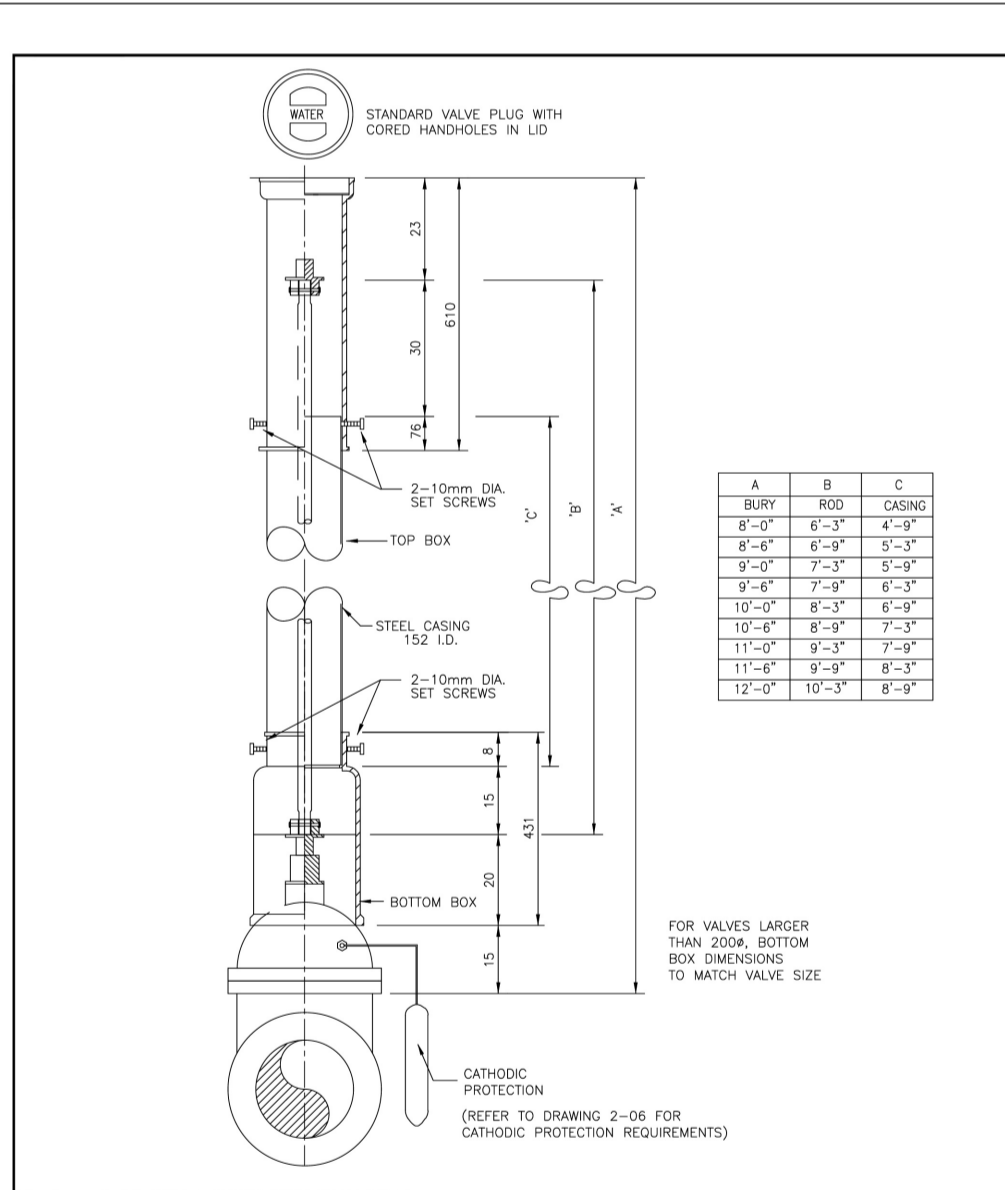
**NOTES:**  
 - MINIMUM 300mm VERTICAL SEPARATION BETWEEN PIPES, AND IF SEWER PIPE IS ABOVE A WATERMAIN, MAINTAIN A MINIMUM 300mm VERTICAL SEPARATION.  
 - VERTICAL PIPE SEPARATION LESS THAN 300mm TO BE APPROVED BY THE TOWN ENGINEER.  
 - CONTRACTOR MAY USE SANDBAGS FILLED WITH CEMENT-SAND (1:1) OR FLOCCULE TO STACK BETWEEN PIPES. SANDBAGS ONLY TO BE USED FOR SEPARATIONS SMALLER THAN 450mm.  
 - HEAT SHRINK WRAP ALL WATER MAIN JOINTS WHERE 3.0 M HORIZONTAL SEPARATION CAN NOT BE ACHIEVED FROM THE CROSSING POINT. REFER TO ENGINEERING DESIGN GUIDELINES.

TOWN OF ROCKY MOUNTAIN HOUSE	
DESIGN GUIDELINE DRAWINGS	DRAWING NO.
Trench Excavation & Backfill	
PIPE CROSSING DETAIL	<b>1-05</b>
REVISION NO. 1	

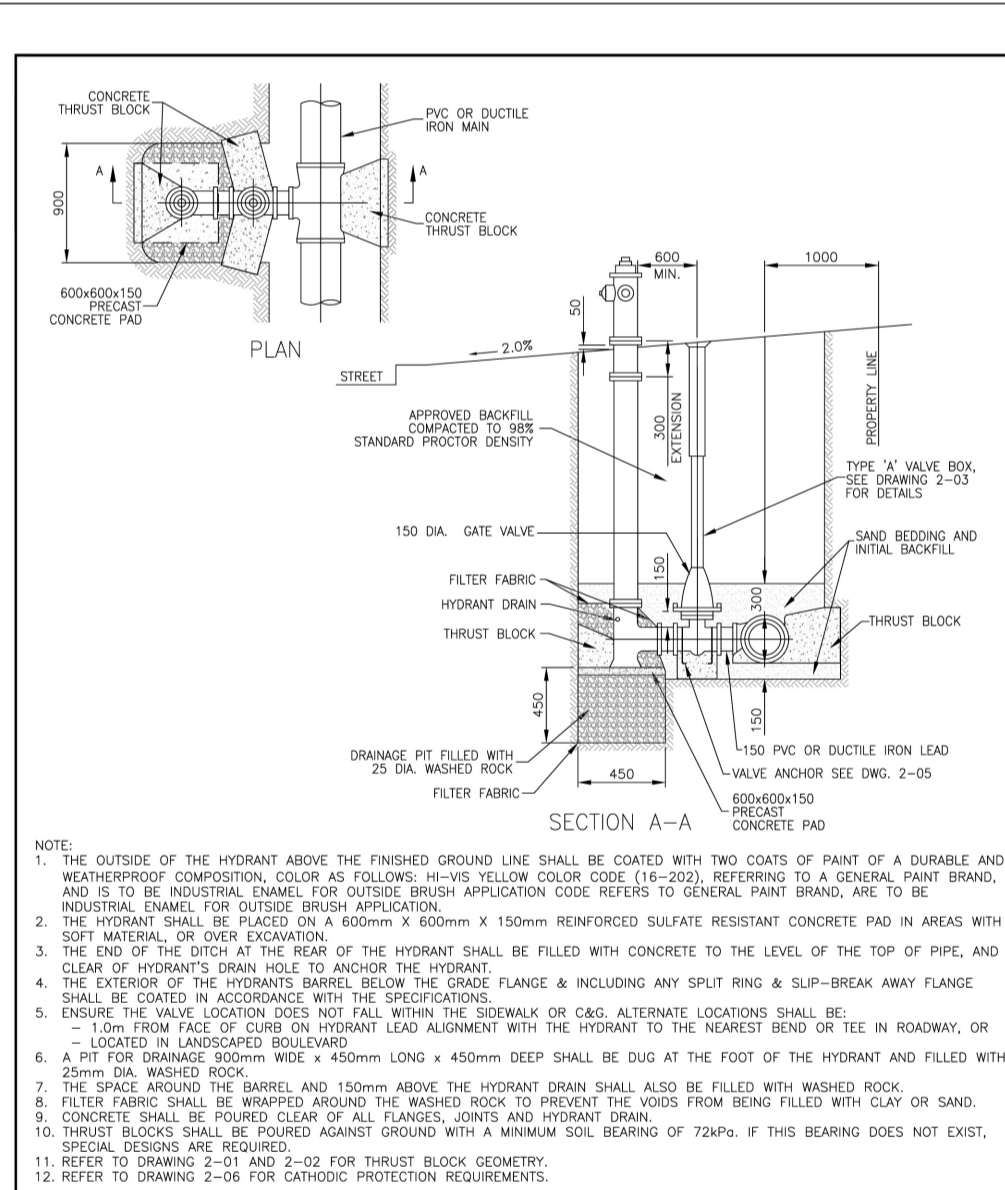


HORIZONTAL THRUST BLOCK BEARING AREA	
MINIMUM CONCRETE AREA IN CONTACT WITH UNDISTURBED SOIL (sq. m)	
FITTING	SIZE OF MAIN (mm)
150	200
250	300
350	400
450	500
600	600
750	750
900	900
1050	1050
1200	1200
1350	1350
1500	1500

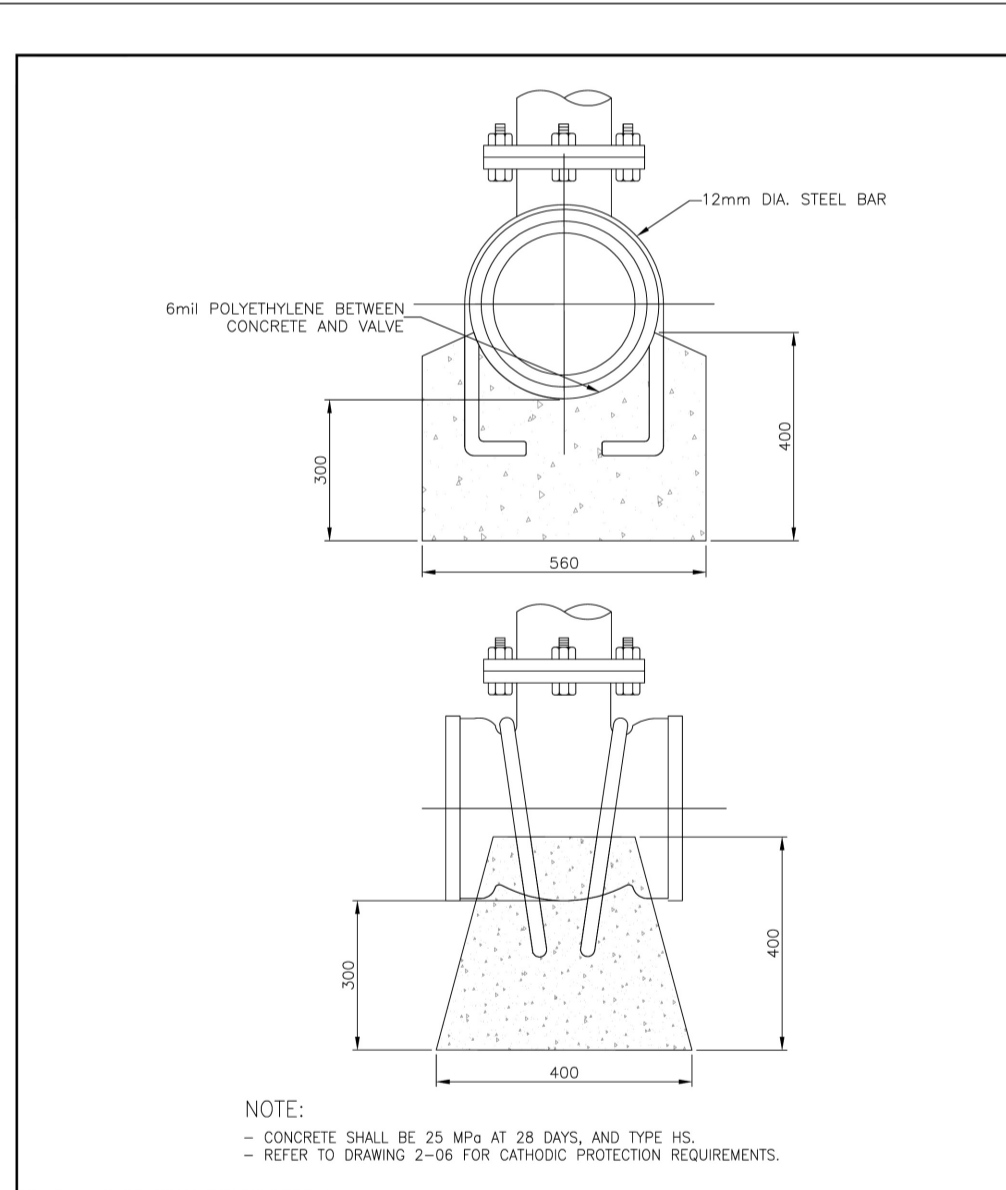
TOWN OF ROCKY MOUNTAIN HOUSE	
DESIGN GUIDELINE DRAWINGS	DRAWING NO.
Water Design	
WATER MAIN HORIZONTAL BEND THRUST BLOCKS	<b>2-01</b>
REVISION NO. 1	



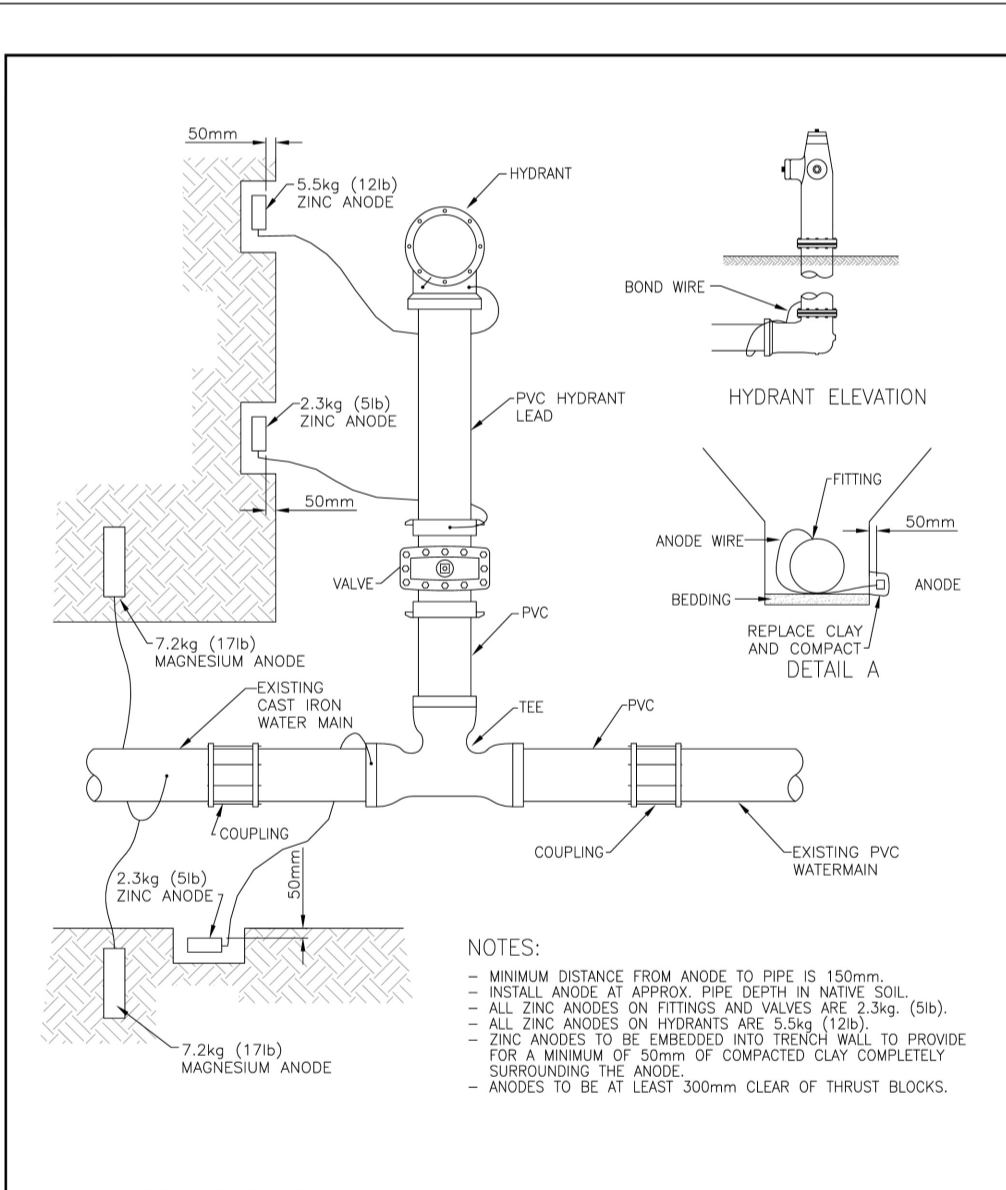
TOWN OF ROCKY MOUNTAIN HOUSE	
DESIGN GUIDELINE DRAWINGS	DRAWING NO.
Water Design	
TYPE 'A' SLIDING TYPE VALVE BOX	<b>2-03</b>
REVISION NO. 1	



TOWN OF ROCKY MOUNTAIN HOUSE	
DESIGN GUIDELINE DRAWINGS	DRAWING NO.
Water Design	
STANDARD HYDRANT DETAIL	<b>2-04</b>
REVISION NO. 1	

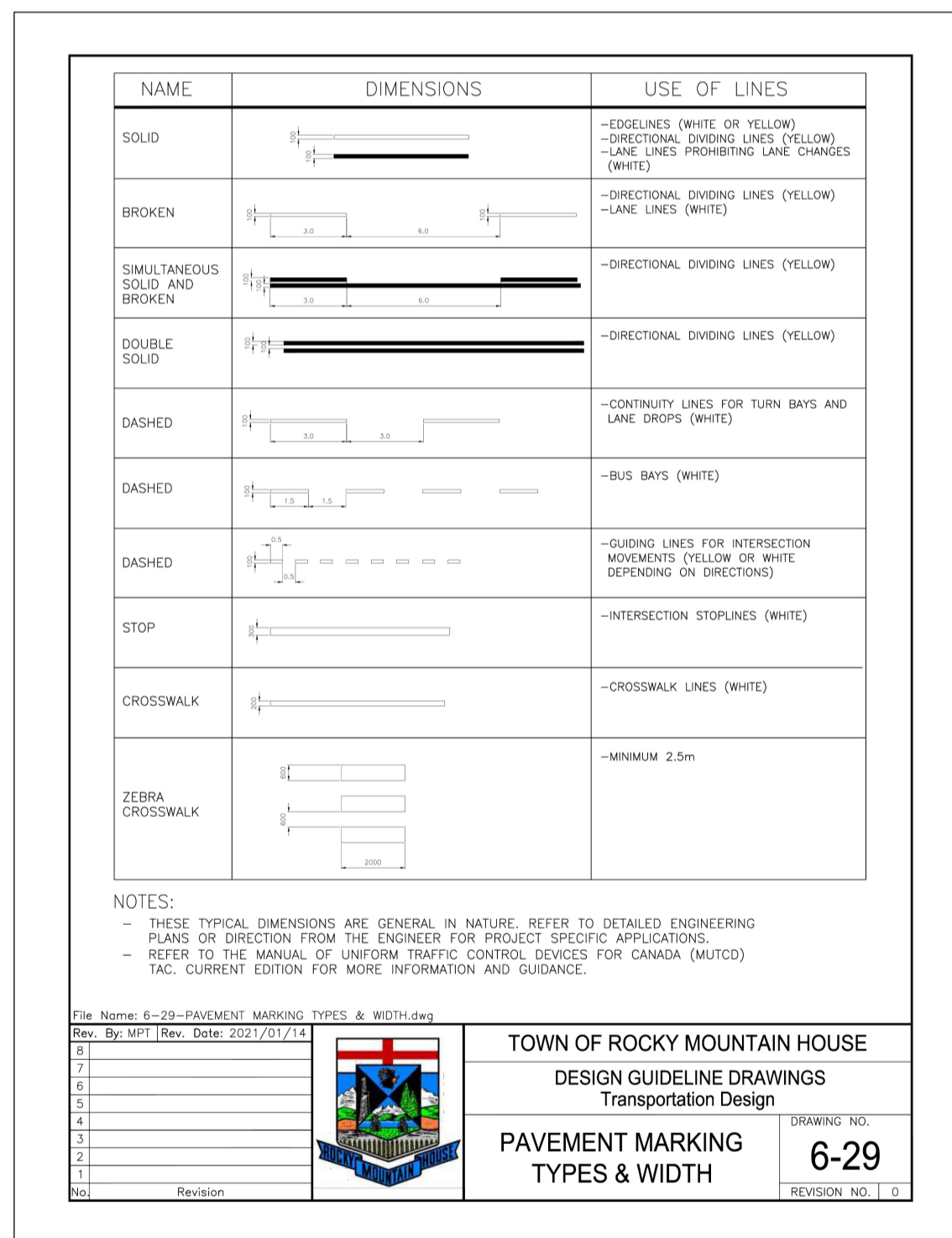
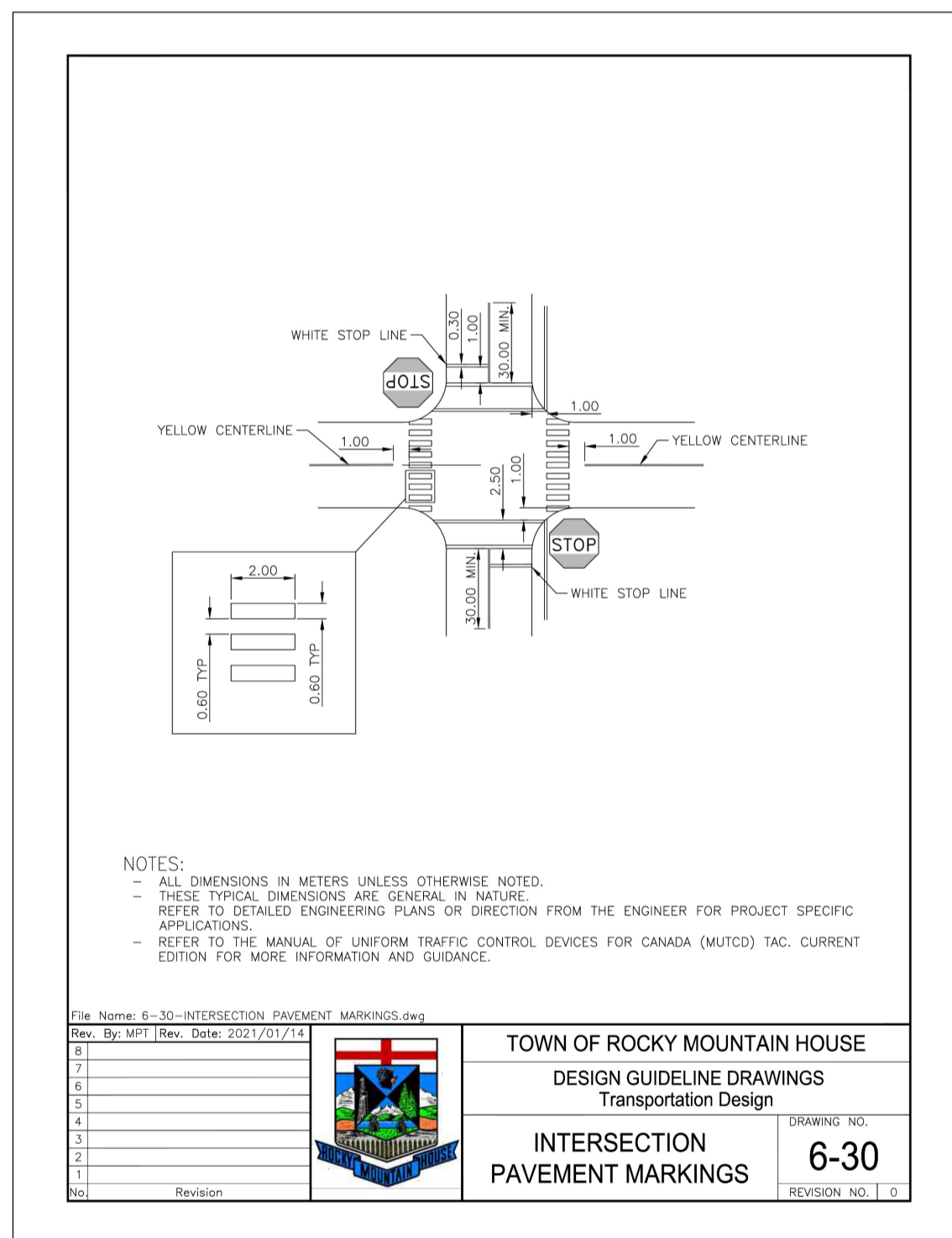
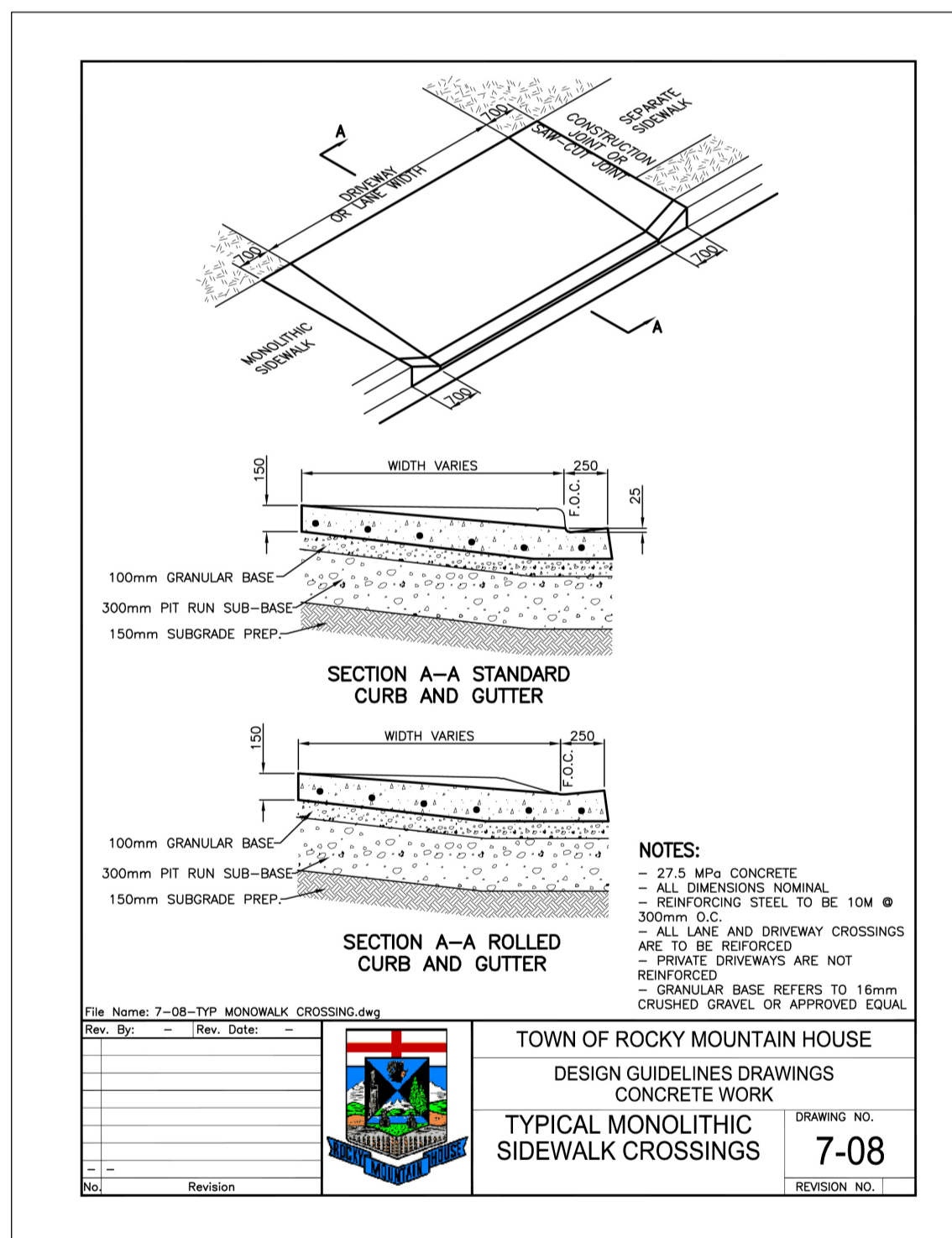
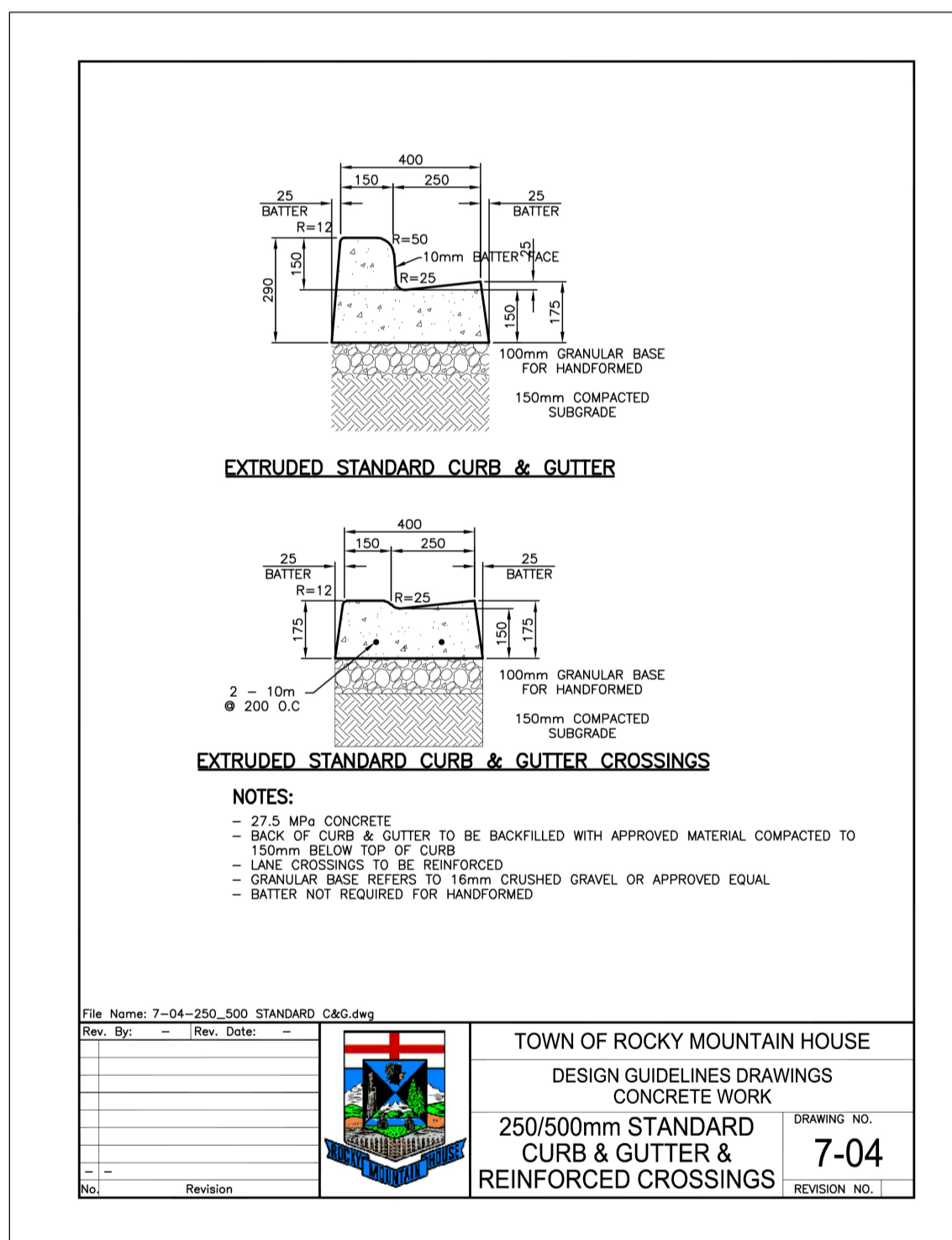
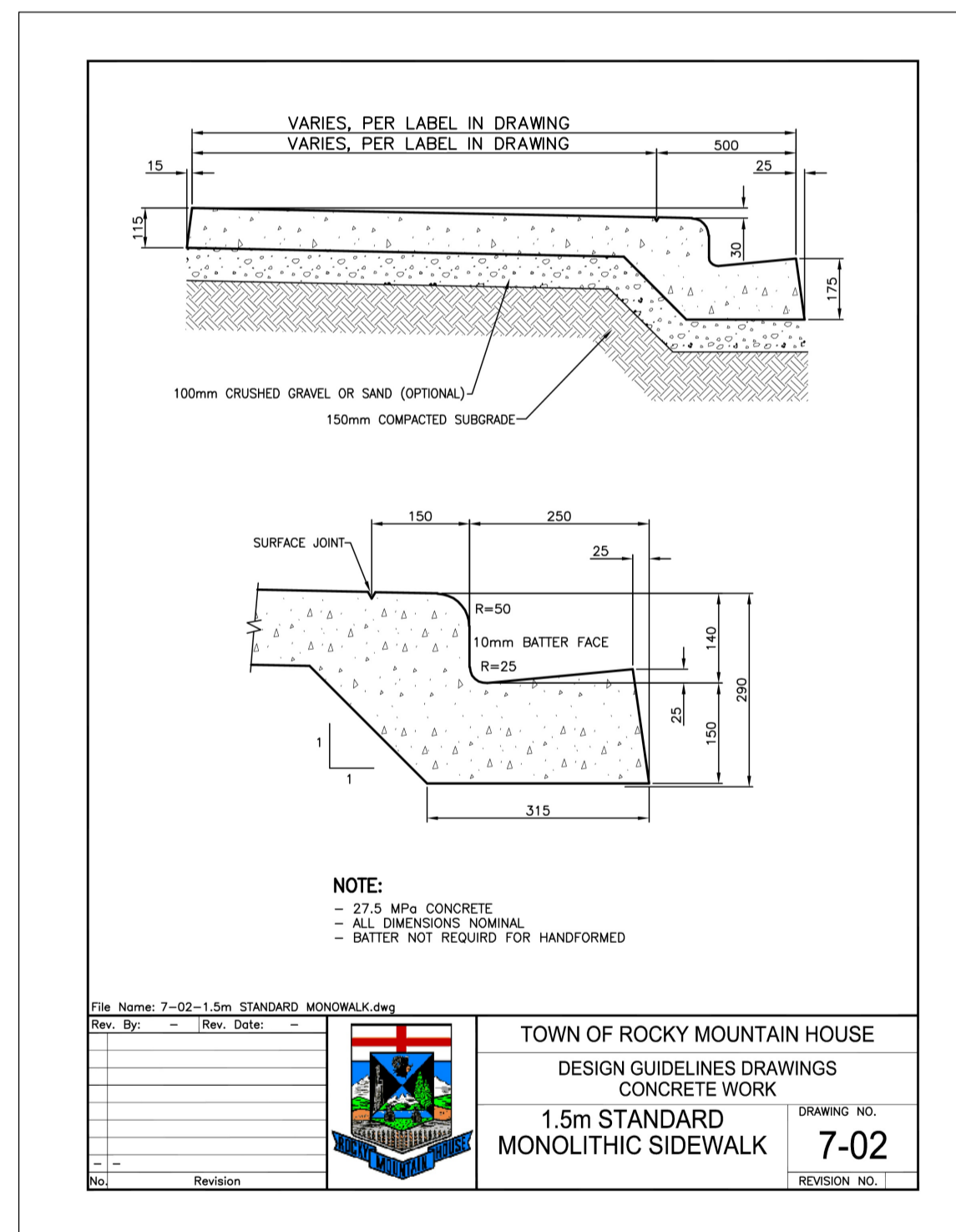
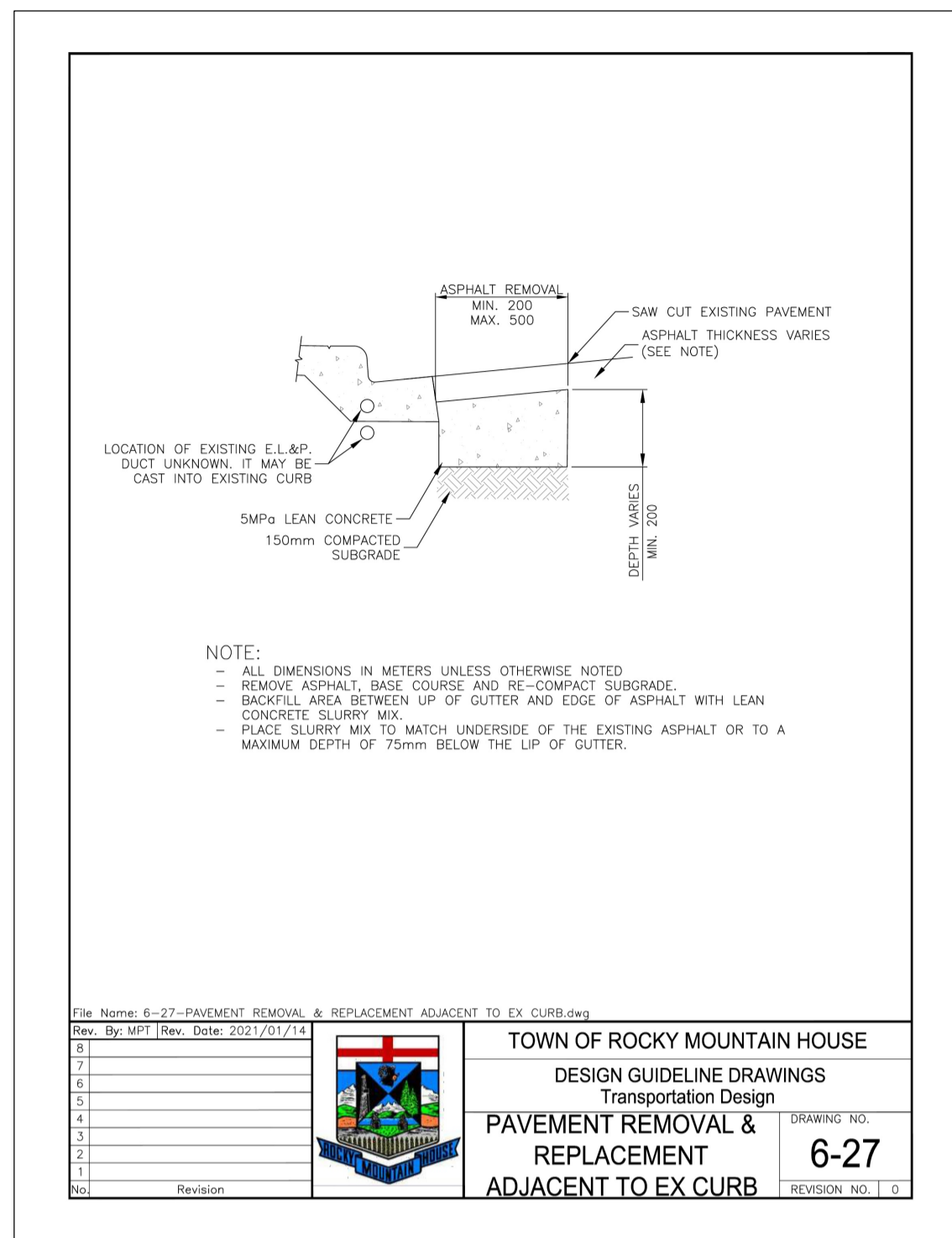
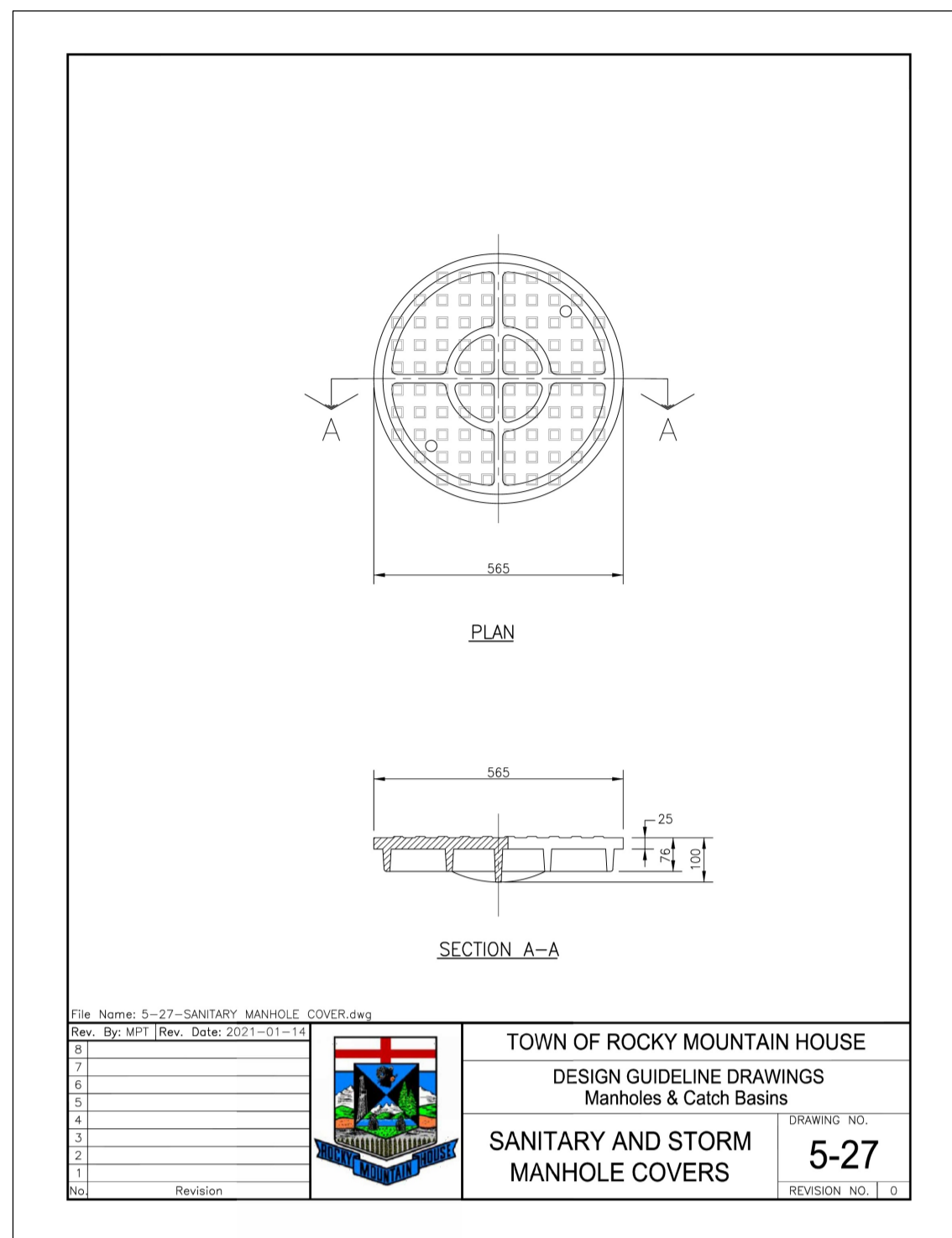
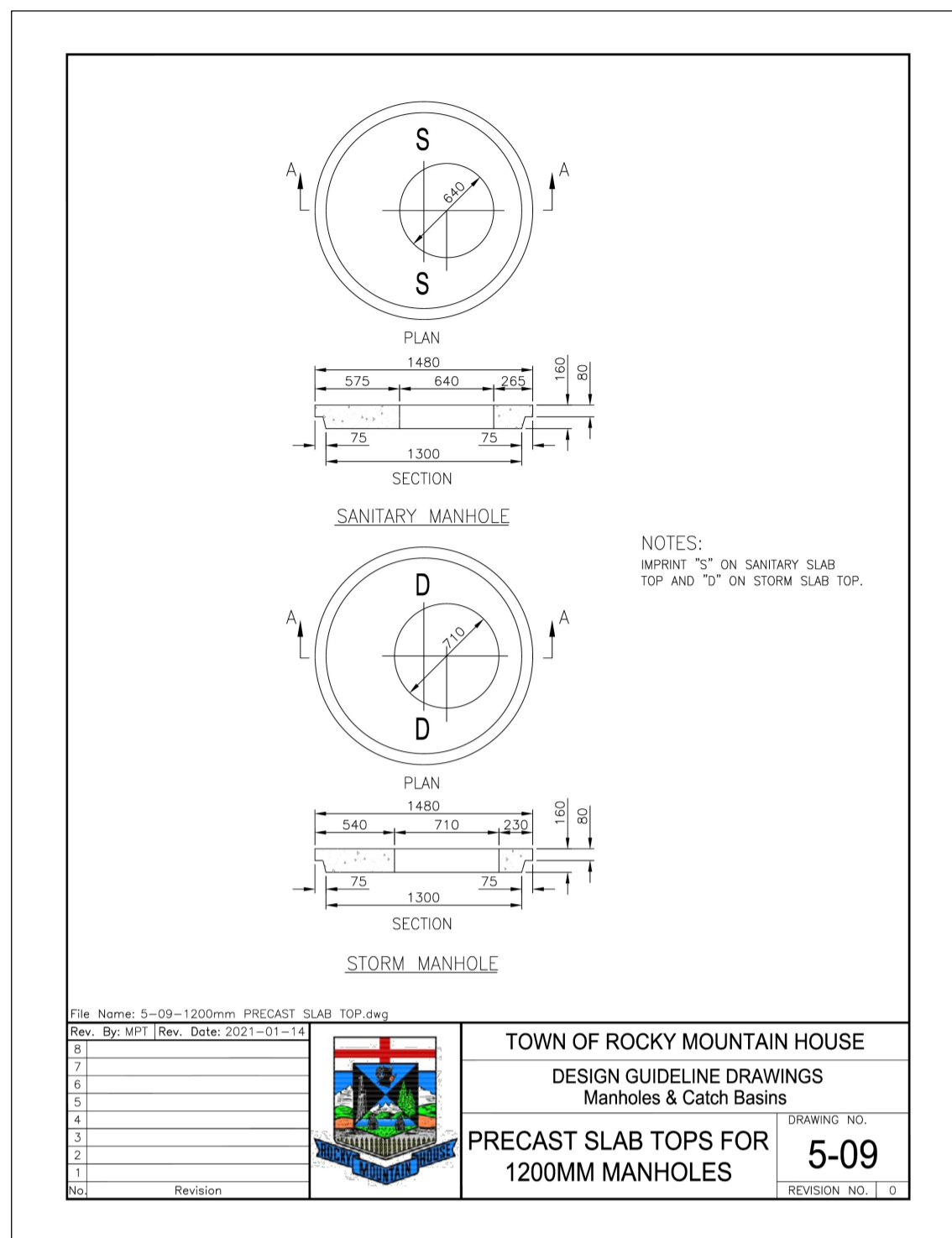
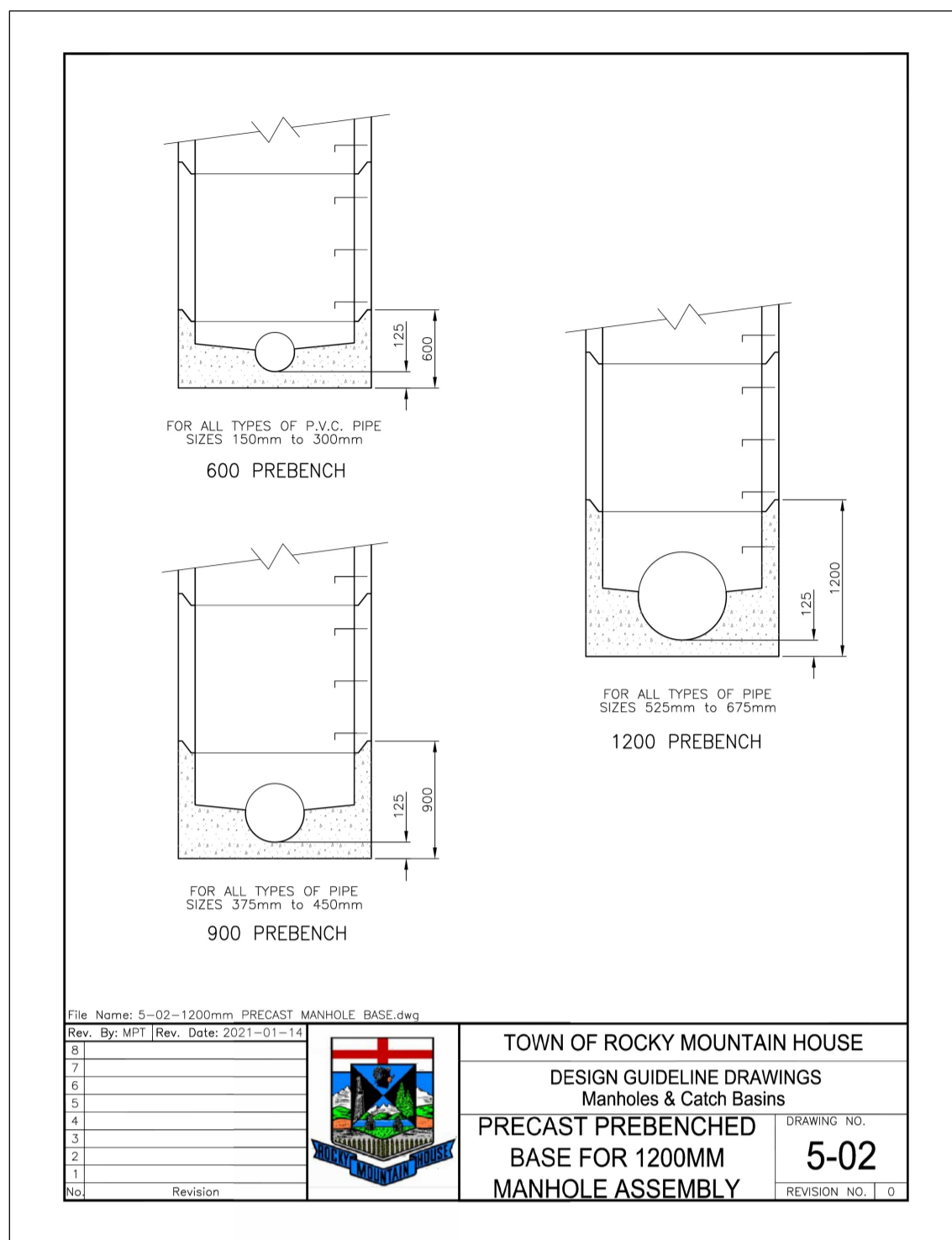
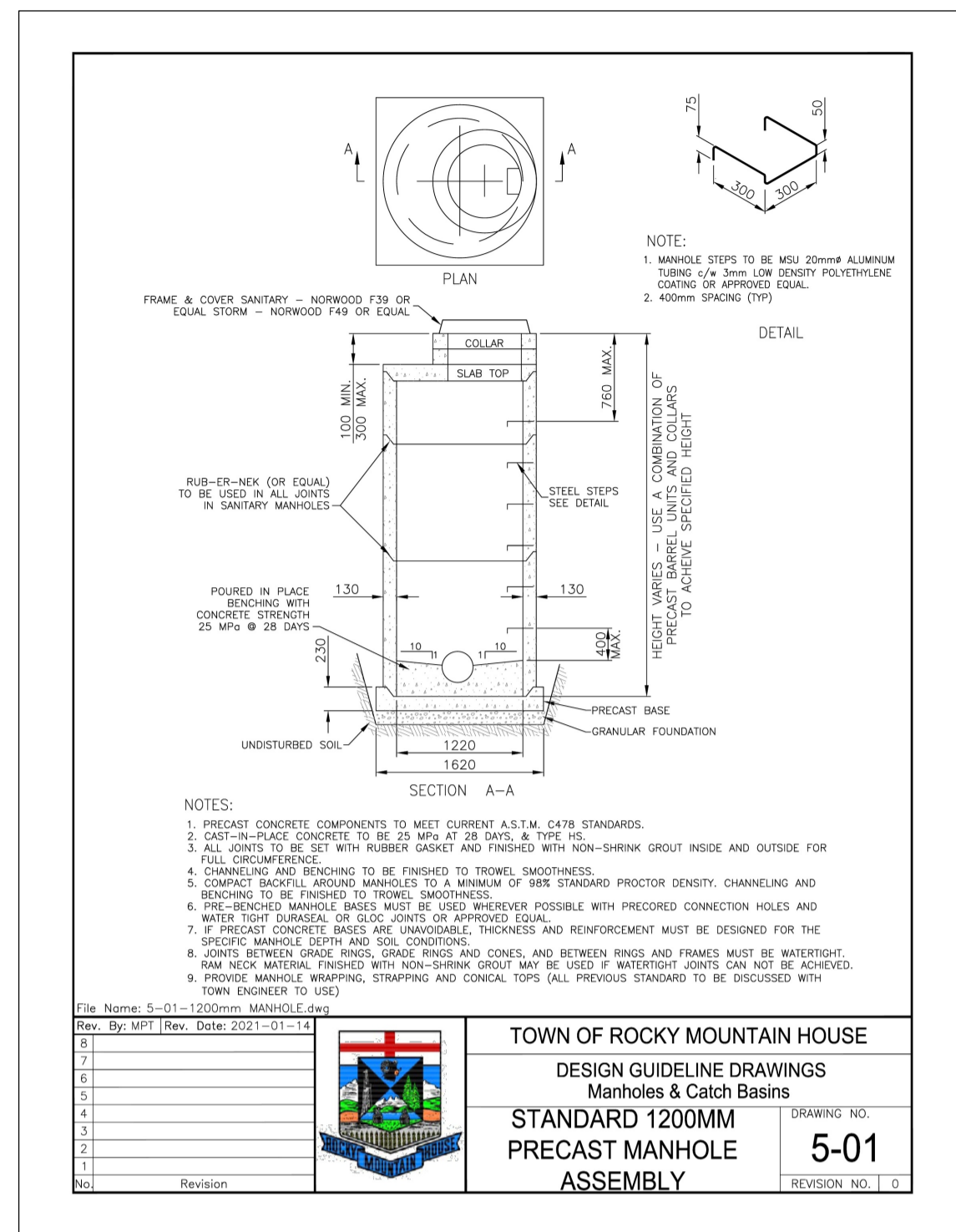


TOWN OF ROCKY MOUNTAIN HOUSE	
DESIGN GUIDELINE DRAWINGS	DRAWING NO.
Water Design	
VALVE ANCHOR DETAIL	<b>2-05</b>
REVISION NO. 1	



TOWN OF ROCKY MOUNTAIN HOUSE	
DESIGN GUIDELINE DRAWINGS	DRAWING NO.
Water Design	
ANODE LOCATION AND INSTALLATION	<b>2-06</b>
REVISION NO. 1	

<b>LEGEND / NOTES:</b> <div style="border: 1px solid black; padding: 5px; text-align: center; font-weight: bold; font-size: 1.2em;">NOT FOR CONSTRUCTION</div>	<b>APPROVALS:</b> DEVELOPMENT ENGINEER, SUSTAINABLE DEVELOPMENT <b>REVISION:</b> <table border="1"> <thead> <tr> <th>NO.</th> <th>DESCRIPTION</th> <th>BY</th> <th>DATE</th> </tr> </thead> <tbody> <tr> <td>02</td> <td>ISSUE FOR APPROVAL</td> <td>MA</td> <td>DH</td> <td>2026-04</td> </tr> <tr> <td>01</td> <td>ISSUE FOR CLIENT REVIEW</td> <td>YL</td> <td>DH</td> <td>2026-03</td> </tr> </tbody> </table>	NO.	DESCRIPTION	BY	DATE	02	ISSUE FOR APPROVAL	MA	DH	2026-04	01	ISSUE FOR CLIENT REVIEW	YL	DH	2026-03	<b>PERMIT / SEAL</b>  	<b>CLIENT:</b> TOWN OF ROCKY MOUNTAIN HOUSE  <b>PROJECT:</b> 49 STREET IMPROVEMENT  <b>DRAWING TITLE:</b> DETAILS  <b>PROJECT NO.:</b> 5026-001 <b>PROJECT MANAGER:</b> D. HARRISON	<b>SCALE:</b>  <b>Inivestec Consulting Ltd.</b> Suite 1700, 10130 - 103 Street NW Edmonton Alberta, T5J 3N9 (780) 293 - 7373 www.inivestec.ca	<b>DRAWING NO.</b> C201-001
		NO.	DESCRIPTION	BY	DATE														
02	ISSUE FOR APPROVAL	MA	DH	2026-04															
01	ISSUE FOR CLIENT REVIEW	YL	DH	2026-03															
THE CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS DO NOT SCALE THE DRAWINGS. ANY ERRORS OR OMISSIONS SHALL BE REPORTED TO INIVESTEC CONSULTING LTD. AS SOON AS POSSIBLE. THE COPYRIGHTS TO ALL DESIGNS AND DRAWINGS ARE THE PROPERTY OF INIVESTEC CONSULTING LTD. REPRODUCTION OR USE FOR ANY PURPOSE OTHER THAN THAT AUTHORIZED BY INIVESTEC CONSULTING LTD. IS PROHIBITED.																			



LEGEND / NOTES:

**NOT FOR CONSTRUCTION**

APPROVALS:  
DEVELOPMENT ENGINEER, SUSTAINABLE DEVELOPMENT

REVISION:

NO.	REVISION	BY	APPD	DATE
02	ISSUE FOR APPROVAL	MA	DH	2026-04
01	ISSUE FOR CLIENT REVIEW	YL	DH	2026-03

ISSUE:

NO.	REVISION	BY	APPD	DATE
02	ISSUE FOR APPROVAL	MA	DH	2026-04
01	ISSUE FOR CLIENT REVIEW	YL	DH	2026-03

PERMIT / SEAL

CLIENT:  
TOWN OF ROCKY MOUNTAIN HOUSE

PROJECT:  
49 STREET IMPROVEMENT

DRAWING TITLE:  
DETAILS

PROJECT NO:  
5026-001

PROJECT MANAGER:  
D. HARRISON

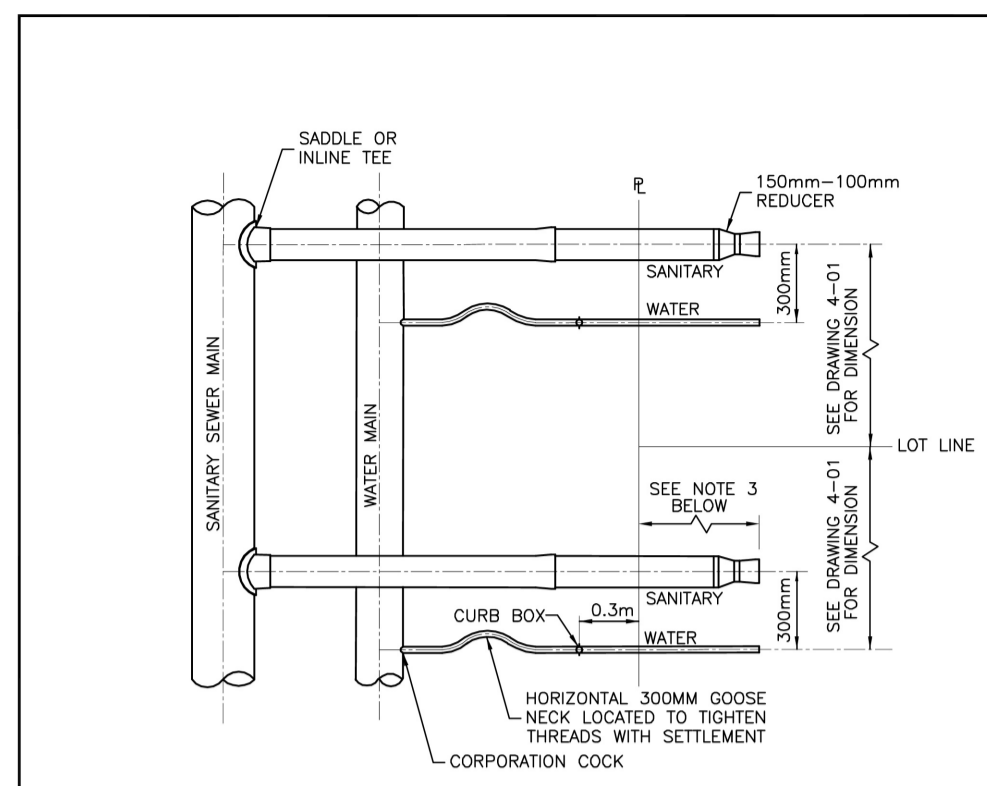
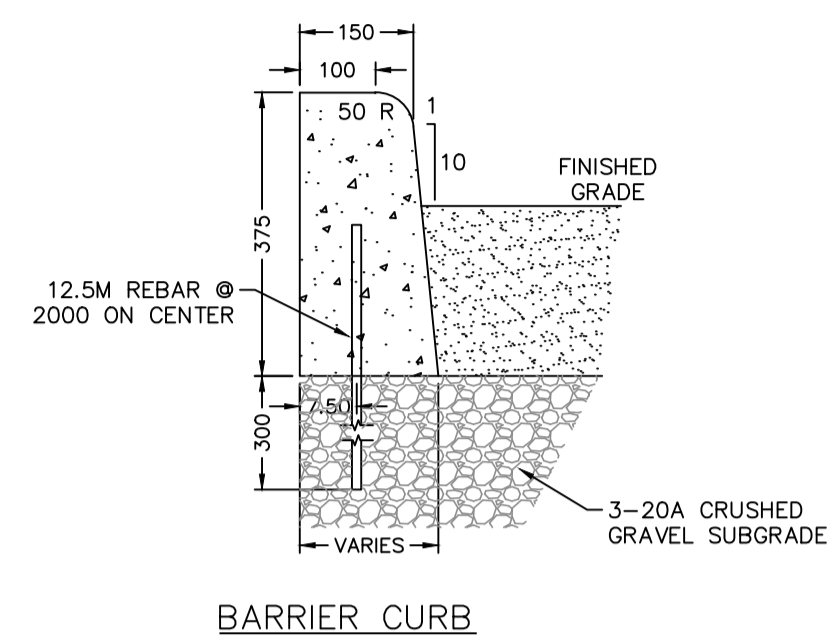
SCALE:

DRAWING NO.  
C201-002

**Invistec Consulting Ltd.**  
Suite 1700, 10130 - 103 Street NW  
Edmonton Alberta, T5J 3N9  
(780) 293 - 7373  
www.invistec.ca

THE CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS  
DO NOT SCALE THE DRAWINGS. ANY ERRORS OR OMISSIONS SHALL BE REPORTED TO  
INVISTEC CONSULTING LTD. AS SOON AS POSSIBLE.

THE COPYRIGHTS TO ALL DESIGNS AND DRAWINGS ARE THE PROPERTY OF INVISTEC  
CONSULTING LTD. REPRODUCTION OR USE FOR ANY PURPOSE OTHER THAN THAT  
AUTHORIZED BY INVISTEC CONSULTING LTD. IS PROHIBITED.



- NOTES:**
- VIEWING THE TRENCH FROM THE LOT, THE WATER SERVICE IS TO THE LEFT OF THE SANITARY SEWER SERVICE AND ALIGNED 1.0m FROM THE CENTERLINE OF THE LOT.
  - SEWER SERVICES MUST TERMINATE WITH A BELL END AND AN APPROVED PLUG SHALL BE PLACED INSIDE THE BELL END.
  - THE SERVICES SHALL TERMINATE 4.5m ONTO PROPERTY OR 1.0m PAST THE EASEMENT LINE, WHICH EVER IS GREATER.
  - SERVICE LEAD PIPE SIZES: SANITARY = 150mm  
WATER = 25mm PE

Rev. No.		Rev. Date	



TOWN OF ROCKY MOUNTAIN HOUSE  
DESIGN GUIDELINE DRAWINGS  
Service Connections  
**RESIDENTIAL SERVICE INSTALLATION**  
DRAWING NO. **4-02**  
REVISION NO.

**LEGEND / NOTES:**

<b>NOT FOR CONSTRUCTION</b>			
<b>APPROVALS:</b>			
DEVELOPMENT ENGINEER, SUSTAINABLE DEVELOPMENT			
<b>REVISION:</b>			<b>DATE</b>
<b>ISSUE:</b>			<b>DATE</b>
02	ISSUE FOR APPROVAL	MA	DH 2026-04
01	ISSUE FOR CLIENT REVIEW	YL	DH 2026-03
BY APPD			DATE

PERMIT / SEAL

**CLIENT:**  
TOWN OF ROCKY MOUNTAIN HOUSE

**PROJECT:**  
49 STREET IMPROVEMENT

**DRAWING TITLE:**  
DETAILS

**PROJECT NO:** 5026-001

**PROJECT MANAGER:** D. HARRISON

**SCALE:**

**DRAWING NO.**  
C201-003



**Invistec Consulting Ltd.**  
Suite 1700, 10130 - 103 Street NW  
Edmonton Alberta, T5J 3N9  
(780) 293 - 7373  
www.invistec.ca

THE CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS DO NOT SCALE THE DRAWING. ANY ERRORS OR OMISSIONS SHALL BE REPORTED TO INVISTEC CONSULTING LTD. AS SOON AS POSSIBLE.

THE COPYRIGHTS TO ALL DESIGNS AND DRAWINGS ARE THE PROPERTY OF INVISTEC CONSULTING LTD. REPRODUCTION OR USE FOR ANY PURPOSE OTHER THAN THAT AUTHORIZED BY INVISTEC CONSULTING LTD. IS PROHIBITED.